

APPROVED

JAN 17 2018

BOARD OF RECREATION AND PARK COMMISSIONERS

BOARD REPORT

NO. 18-012

DATE January 17, 2018

C.D. 9

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: SLAUSON RECREATION CENTER -- SENIOR CENTER FACILITY IMPROVEMENTS (PRJ 21116) PROJECT -- APPROVAL OF FINAL PLANS; AND CATEGORICAL EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO ARTICLE III, SECTION 1, CLASS 1 (1 and 3) OF THE CITY CEQA GUIDELINES [ALTERATIONS TO EXISTING STRUCTURES AND PARKING LOTS WITH NEGLIGIBLE OR NO EXPANSION OF USE]

AP Diaz	_____	V. Israel	_____
<i>for</i> *R. Barajas	<i>CSB</i>	S. Piña-Cortez	_____
H. Fujita	_____	N. Williams	_____

M. Stein

General Manager

Approved X Disapproved _____ Withdrawn _____

RECOMMENDATIONS

1. Approve the final plans and specifications, herein included as Attachment 1, for the Slauson Recreation Center – Senior Center Facility Improvements (PRJ21116) Project (Project);
2. Find that the proposed project is categorically exempt from the California Environmental Quality Act; and direct the Department of Recreation and Parks' (RAP) staff to file a Notice of Exemption;
3. Authorize the RAP's Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of Seventy-Five Dollars (\$75.00) for the purpose of filing a Notice of Exemption; and,
4. Authorize the RAP's Chief Accounting Employee to make technical corrections as necessary to carry out the intent of this Report.

SUMMARY

Slauson Recreation Center is located at 5306 South Compton Avenue in the Central – Alameda area of the City. This 3.63-acre facility provides a children's play area, recreation center building, a senior center and baseball fields, for the use of the surrounding community. Approximately 12,679 residents live within a one-half (1/2) mile walking distance of Slauson

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Recreation Center. Due to the facilities, features, and services provided at the facility, Slauson Recreation Center meets the standard for a Community Park, as defined in the City's Public Recreation Plan.

On March 1, 2017, the Board of Recreation and Park Commissioners (Board) approved the allocation of One Million Five Hundred Thousand Dollars (\$1,500,000) in interest income.

The Project scope of work includes kitchen upgrades, restroom improvements, parking lot improvements, ceiling tile replacement, re-painting building, door hardware replacement, new fire alarm installation, and roofing repairs

The RAP Planning Maintenance and Construction Branch architectural staff prepared the plans and specifications, and obtained all the necessary approvals for the Project. The Project was presented to the community on November 20, 2017. Approximately twenty (20) community members attended and viewed the presentation. In general, the Project was supported by the community.

After review by the RAP staff it was determined that the work can be performed by a combination of RAP's in-house construction staff and pre-qualified on call contractors. By constructing the project with in-house staff, the disruption to the park operations and programming can be minimized. Staff recommends the Project be constructed by in-house construction staff and pre-qualified on call contractors.

TREES AND SHADE

There will be no impact on existing trees or shade at Slauson Recreation Center – Senior Center Facility. Any and all trees are to be protected throughout the construction. All existing trees and planting to remain.

ENVIRONMENTAL IMPACT STATEMENT

The proposed Project consists of minor alterations of existing structures and parking lots. Therefore, RAP Staff recommends the Board determine that the Project is exempt from the provisions of the CEQA pursuant to Article III, Section 1, Class 1 (1 and 3) of the City's CEQA Guidelines. A Notice of Exemption will be filed with the Los Angeles County Clerk upon approval by the Board.

FISCAL IMPACT STATEMENT

The project will be funded by a combination of the aforementioned funding source. There is no immediate fiscal impact to RAP's General Fund. It is anticipated that future operations and maintenance costs of the facility should be reduced, as the improvements provide energy efficient features.

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This Report was prepared by Stephen Hartounian, Architectural Associate I, Planning, Maintenance and Construction Branch.

LIST OF ATTACHMENTS/EXHIBITS

1) Attachment 1 Drawings and Specifications

THE CITY OF LOS ANGELES OR ITS OFFICERS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

DEPARTMENT OF RECREATION AND PARKS
CITY OF LOS ANGELES

SLAUSON SENIOR & MULTIPURPOSE CENTER

5306 SOUTH COMPTON AVE.
LOS ANGELES, CA 90011



DRAWING INDEX

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PLUMBING FIXTURE CALCULATION

ROOM	SQ FT	SQ FT. / OCC LOAD	OCCUPANTS
BASKETBALL COURT	5614 SF.	5614 SF. / 30 =	187
MULTI-USE ASSEMBLY	2400 SF.	2400 SF. / 30 =	80
STAGE / PLATFORM 1	713 SF.	713 SF. / 30 =	24
STAGE / PLATFORM 2	629 SF.	629 SF. / 30 =	21
MEETING 1	536 SF.	536 SF. / 30 =	18
GYM	481 SF.	481 SF. / 30 =	16
DIRECTOR'S OFFICE	406 SF.	406 SF. / 30 =	14
OFFICE	157 SF.	157 SF. / 200 =	1
OCCUPANT LOAD.....			361 (181 M / 181 F)

NUMBER OF FIXTURES

GENDER	WATER CLOSET	URINAL	LAVATORY
MALE	1:75 = 3 WC	1:75 = 3 UR	1:2 = 2 LAV
FEMALE	1:40 = 5 WC	N/A	1:2 = 3 LAV
PROVIDED	(9 WC)	(3 UR)	(6 LAV)



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATHIE SANTO DOMINGO
 PROJECT LANDSCAPE ARCHITECT:
 GENERAL MANAGER: MICHAEL A. SHULL
 PROJECT LANDSCAPE ARCHITECT:
 SUBJECTS DRAWN BY:



PROJECT NAME:
**SLAUSON SENIOR
 MULTIPURPOSE CENTER**
 ADDRESS:
**5306 SOUTH COMPTON AVE.
 LOS ANGELES, CA 90011**

PROJECT TEAM	PROJECT DATA	LEGAL DESCRIPTION	SCOPE OF WORK	VICINITY MAP
DEPARTMENT OF RECREATION AND PARKS MICHAEL A. SHULL, GENERAL MANAGER 221 N. FIGUEROA ST., SUITE 300 LOS ANGELES, CA 90012 RAMON BARAJAS, ASSISTANT GENERAL MANAGER PLANNING, CONSTRUCTION, AND MAINTENANCE BRANCH CATHIE SANTO DOMINGO, SUPERINTENDENT PLANNING, CONSTRUCTION, AND MAINTENANCE BRANCH DESIGN: STEPHEN HARTOUNIAN BUILDER: RECREATION AND PARKS	OWNER: CITY OF LOS ANGELES/ DEPARTMENT OF REC. & PARKS ADDRESS: 221 N. FIGUEROA ST., STE. 400 LOS ANGELES, CA 90012 FIRE DISTRICT: 21 ZONE: OS - 1XL LOT SIZE: 5,842 SQ FT BLDGS: 1 STORIES: 1 BLDG HT: 12' - 0" USE TYPE: RECREATION OCCUPANCY: A-4 / B BLDG AREA: 6,367 SF. (SENIOR CENTER) 9,537 SF. (MULTIPURPOSE CENTER) CONSTRUCTION TYPE: TYPE V/B EXIST. PKNG: 18 STANDARD, 2 ACCESSIBLE LOT AREA: 5,842 SQ FT	PIN #: 108B213 152 TRACT: GRIDER AND HAMILTON'S VERNONDALE LOT: 13 BLOCK: NONE ASSESSOR PARCEL #: 5105003905 MAP REFERENCE: M B 8-52 MAP SHEET: 108B209 108B213 ARB (LOT CUT REF) NONE CENSUS TRACK #: 2289.00 APN AREA (CO. OF PUBLIC WORKS): 3.533 (ac) DEED REF # (CITY CLERK): X 210 OWNER: CITY OF LOS ANGELES DEPT. OF REC. & PARKS 221 N. FIGUEROA ST., SUITE 400 LOS ANGELES, CA 90012 ADDRESS:	RESTROOM UPGRADE, PATH OF TRAVEL, BUILDING IMPROVEMENTS.	

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17

PLAN NAME:
TITLE SHEET

DRAWN BY:	APPROVED BY:
SH	X. XXXXX
SCALE:	ISSUE DATE:
	10/30/17
W.O. NO.:	FILE NO.:
PRJ21116	842

DRAWING NO.
G100
SHEET 01 OF 11 SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENCIES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

GENERAL

- NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ARCHITECT OR DESIGNER.
- ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH ARE NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR DESIGNER.
- THE ARCHITECT OR DESIGNER AND THE STRUCTURAL ENGINEER SHALL APPROVE ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS NOT SHOWN ON THE DRAWINGS PRIOR TO PROCEEDING WITH THE RESPECTIVE WORK.
- ANY WORK INSTALLED IN CONFLICT WITH THE DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE & AT NO COST TO THE OWNER OR THE ARCHITECT/DESIGNER.
- THESE DRAWINGS, SPECIFICATIONS AND COPIES, OR ANY OTHER ACCESSORIES THEREOF, ARE LEGAL INSTRUMENTS OF SERVICE FOR USE BY THE OWNER AND AUTHORIZED REPRESENTATIVES ON THE DESIGNATED PROPERTY ONLY. IF THE CONTRACTOR HAS ANY QUESTIONS REGARDING THESE INSTRUMENTS OF SERVICE OR THEIR EXACT MEANING, THE CONTRACTOR SHALL REQUEST THE ARCHITECT/DESIGNER TO ISSUE CLARIFICATION PRIOR TO PROCEEDING WITH RESPECTIVE WORK.
- THESE BUILDING APPROVED DOCUMENTS ARE USED IN CONJUNCTION WITH THE PROJECT SPECIFICATION BOOK. THE CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SUBS HAVE A COPY OF THE PLANS, SPECIFICATIONS AND ANY PERTINENT INFORMATION REQUIRED TO PERFORM THE CONTRACT WORK.
- IN THE EVENT THERE ARE FOUND DISCREPANCIES OR AMBIGUITIES IN OR OMISSIONS FROM THE DRAWINGS, OR SHOULD THERE BE DOUBT AS TO THEIR MEANING OR INTENT, THE ARCHITECT OR DESIGNER SHALL BE NOTIFIED. IN ORDER TO PROVIDE A WRITTEN CLARIFICATION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE DRAWINGS AND THE CONSULTING ENGINEERS OR DESIGN/BUILD DRAWINGS IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR DESIGNER BY THE CONTRACTOR FOR CLARIFICATION BEFORE COMMENCEMENT OF THE WORK.
- ALL ADDENDA, CHANGE ORDERS, BULLETINS, AND NOTICES, IF ANY ISSUED LATER, SHALL BE CONSIDERED AS PART OF THE WORK.
- THE CONTRACTOR SHALL REQUEST AND RECEIVE FROM THE ARCHITECT OR DESIGNER A COLOR MATERIALS BOARD INDICATING THE CERAMIC TILE AND PAINT MANUFACTURER, FINISH, COLOR AND REFERENCE NUMBER PRIOR TO ORDERING SAID PRODUCTS FOR USE ON THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE A COPY OF ALL APPROVED SHOP DRAWINGS WITH ANY APPROVED CHANGES TO THE OWNER WHICH ARE TO BE KEPT WITH THE PERMITTED SET OF CONSTRUCTION DOCUMENTS AT THE JOB SITE AT ALL TIMES DURING PROJECT CONSTRUCTION.
- PROVIDE SHOP DRAWINGS FOR ALL ITEMS, DRAWINGS, DIAGRAMS, SCHEDULES, OR OTHER DATA SPECIALLY PREPARED FOR THE WORK BY THE CONTRACTOR OR ANY SUBCONTRACTOR, MANUFACTURER, SUPPLIER, OR DISTRIBUTOR TO ILLUSTRATE SOME PORTION OF THE WORK. THE GENERAL CONTRACTOR SHALL REVIEW, APPROVE, AND SUBMIT AS SPECIFIED IN THE SPECIFICATIONS IN SUCH SEQUENCES AS TO CAUSE NO DELAY IN THE WORK OF ANY SEPARATE CONTRACTOR.
- THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND ENFORCING ALL CONSTRUCTION LOAD LIMITS ON THE STRUCTURE.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, AND OTHER SERVICES NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS IN A TIMELY MANNER.
- CONTRACTOR TO PROVIDE ALL ITEMS SHOWN ON PLANS INCLUDING DASHED LINE ITEMS UNLESS NOTED N.I.C. (NOT IN CONTRACT.)
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. NOTE THAT DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF WALL OR COLUMN UNLESS SHOWN OTHERWISE. DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH SUBCONTRACTOR BEFORE THAT SUBCONTRACTOR BEGINS WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR DESIGNER AND GENERAL CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE GIVEN. REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- ALL WORKMANSHIP SHALL COMPLY WITH INDUSTRY STANDARDS FOR THE TYPE OF CONSTRUCTION OF THE BUILDING. THE ABSENCE OF A DETAIL REFERENCE DESCRIBING A PARTICULAR METHOD OF CONSTRUCTION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF MEETING SUCH INDUSTRY STANDARDS. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT OR DESIGNER ANY DISCREPANCIES BETWEEN INDUSTRY STANDARDS AND THE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL COMPLY WITH THE REGULATIONS OF THE OCCUPATION SAFETY AND HEALTH ACT.
- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. WORKER AND PEDESTRIAN PROTECTION SHALL BE PROVIDED AND MAINTAINED BY THE GENERAL CONTRACTOR IN ACCORDANCE WITH CHAPTER 44 OF THE UNIFORM BUILDING CODE, O.S.H.A. AND OTHER AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY DURING THE COURSE OF HIS /HER WORK ON THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY WHETHER CONNECTED OR ASSOCIATED WITH THE CONTRACTOR'S PORTION OF THE WORK OR NOT. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ARCHITECT FREE AND HARMLESS FROM ALL CLAIMS, DEMANDS AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- PROVIDE PEDESTRIAN AND PROPERTY PROTECTION BARRICADES AND/OR CANOPIES AS REQUIRED BY THE LOCAL AUTHORITIES OR AS NECESSARY FOR PEDESTRIAN SAFETY. A PERMIT IS REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR PUBLIC SPACE.
- PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL METERS, REGULATORS, AND PIPING FOR HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET AND OTHER TEMPORARY FACILITIES AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRADES AND SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, SURPLUS MATERIALS AND LEAVE THE JOB IN A BROOM CLEAN CONDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS CLEANUP OF THE SITE AND OF ALL DEBRIS, WHETHER CREATED BY HIS WORK, OR BY THE FAILURE OF HIS SUBCONTRACTORS TO CLEAN UP AFTER THEIR WORK.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL DAMAGE TO OFFSITE IMPROVEMENTS CAUSED BY CONSTRUCTION. CALL PUBLIC WORKS INSPECTOR FOR INSPECTION OF OFFSITE IMPROVEMENTS AT SUBSTANTIAL COMPLETION OF ONSITE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE OF SUPERVISING ALL CUTTING AND PATCHING OF FINISHED WORK ALREADY INSTALLED, IF MADE NECESSARY BY ERRORS, CHANGES, OR OTHER REASONS; ALL REPLACEMENT WORK SHALL MATCH ORIGINAL SURFACES.
- THERE SHALL NOT BE EXPOSED PIPE, CONDUIT, DUCTS, VENTS, ETC. IN DESIGNATED FINISH SPACE OR AT BUILDING EXTERIOR, UNLESS NOTED AS EXPOSED CONSTRUCTION ON FINISH SCHEDULE OR SPECIFIED ON PLANS.
- ALL ELECTRICAL & TELEPHONE CONDUITS, PLUMBING PIPES ARE TO BE CONCEALED IN WALLS. ALL PANELS, OUTLETS, OR J-BOXES METAL OR CMU WALLS SHALL BE RECESSED FLUSH WITH WALL FINISH U.N.O.
- CONTRACTOR SHALL ENSURE THAT ALL FINISH MATERIALS WILL BE FLUSH WITH ADJACENT SURFACES AND JOINTS (EXCEPT WHERE INDICATED OTHERWISE).
- WHERE FACTORY PRIMED ITEMS OCCUR, SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES, ETC. PAINT TO MATCH THE ADJACENT SURFACE OR AS SPECIFIED AS DIRECTED BY THE ARCHITECT.
- PROVIDE BACKING FOR ALL CABINETS OR WALL HUNG EQUIPMENT. ALL MECHANICAL, ELECTRICAL AND PLUMBING PENETRATIONS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL BE APPROVED

- BY THE ARCHITECT OR DESIGNER AND THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH THE RESPECTIVE WORK.
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE, OR LESS THAN 6" ABOVE THE GROUND SHALL BE PRESSURE-TREATED WOOD.
 - THE CONTRACTOR SHALL REMOVE OLD BUILDING FOUNDATION PORTIONS AND ALL OLD SITE UTILITY PIPES OR CONDUITS WHICH ARE DISCOVERED DURING SITE GRADING AND CLEARING. AT NO COST TO THE CITY OF L.A. NO ITEMS LISTED ABOVE SHALL BE ABANDONED, THEY MUST BE PERMANENTLY REMOVED.
 - PROVIDE WATERPROOF MEMBRANE OVER ALL EXTERIOR BUILDING WALLS BELOW GRADE. CARRY WATERPROOF MEMBRANE 6" ABOVE FINISHED GRADE. INSTALL PROTECTION BOARD PRIOR TO BACKFILLING.
 - ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. ALL FLASHING, COUNTER FLASHING AND COPING WHEN OF METAL, SHALL MEET THE GAUGES SPECIFIED, BUT NO LESS THAN 24 GA. GALVANIZED.
 - ALL EXPOSED EXTERIOR METAL FABRICATIONS SHALL BE SHOP GALVANIZED PER ASTM A153, A123, AND A386 U.N.O. FOR REPAIR OF DAMAGED GALVANIZED SURFACES RESULTING FROM WELDING USE GALVALLOY METHOD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE AND AT NO COST TO THE OWNER OR THE ARCHITECT.
 - CONTRACTOR SHALL PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
 - SUPPORT FOR APPENDAGE SEPARATE SUPPORT FROM THE STRUCTURE SHALL BE PROVIDED FOR ALL APPENDAGES SUCH AS LIGHT FIXTURES, AIR DIFFUSERS, EXIT SIGNS, AND SIMILAR ELEMENTS.
 - PROVIDE ACCESS PANELS FOR MECHANICAL, ELECTRICAL, & PLUMBING EQUIPMENT. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO STARTING WORK. PANEL FINISHES SHALL BE SELECTED BY THE ARCHITECT FROM A STANDARD COLOR PALETTE U.N.O.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY CLG. OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOV. AGENCIES, A/C & ELECTRICAL SYS., OR OTHER CONTRACTORS. PROVIDE APPROVED ASSEMBLIES WITH SELF-CLOSING DEVICES IN FIRE RATED CONSTRUCTION.
 - DUCT PENETRATIONS OF FIRE-RATED, WALLS AND CEILINGS, PLUMBING AND GAS LINES SHALL USE FIRE DAMPERS PER SECTION 4306 (J), LATEST U.B.C. (SEE MECHANICAL DRAWINGS.)
 - ALL HVAC DUCTS, LIGHT FIXTURES, SUSPENDED CEILINGS, PLUMBING AND GAS LINES AND SPRINKLER PIPES TO BE ANCHORED FOR HORIZONTAL SEISMIC LOADS PER CODE REQUIREMENTS.
 - ALL ELECTRICAL AND TELEPHONE CONDUIT AND ALL PLUMBING PIPES TO BE CONCEALED IN WALLS. ALL PANELS AND OUTLETS OR "J" BOXES IN METAL OR C.M.U. CONSTRUCTION TO BE RECESSED FLUSH WITH WALL FINISHES. (U.N.O.)
 - SAFETY GLAZING IN HAZARDOUS LOCATIONS SUCH AS GLASS DOORS, GLAZING ADJACENT TO SUCH DOORS, AND GLAZING ADJACENT TO WALK WAY SURFACE IS TO COMPLY WITH SECTION 5406 AND 5406(D)6, LATEST U.B.C.
 - ALL GLAZING WITHIN 18" OF A FLOOR SHALL BE TEMPERED.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETS, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE ABOVE.
 - INSTALL FIRE BLOCK AT MID-HEIGHT OF WALLS OVER 8'-0" HIGH.
 - NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY CITY OF L.A. BUILDING INSPECTOR.
 - EXIT DOOR SHALL NOT BE LESS THAN 36" IN WIDTH & NOT LESS THAN 6'-8" CLEAR IN HT. PROJECTIONS INCLUDING PANIC HARDWARE SHALL NOT REDUCE THE OPENING TO LESS THAN 32" IN WIDTH.
 - THE EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.
 - ALL GYPSUM BOARD SHALL BE 5/8" MINIMUM THICKNESS UNLESS NOTED OTHERWISE. USE 5/8" TYPE "X" GYPSUM BOARD AT ALL FIRE-RATED WALLS, OR SHAFTS AND WATER RESISTANCE GYPSUM BOARD IN WET AREAS.
 - THE FULL HT. OF FIRST LEVEL OF EXTERIOR WALLS AND DOORS, MEASURED FROM GRADE, AND ALL OF ANY WALLS ENCLOSING THE PROPERTY SHALL BE BUILT AND MAINTAINED WITH A GRAFFITI RESISTANT FINISH CONSISTING OF EITHER A HARD, SMOOTH, IMPERMEABLE SURFACE SUCH AS CERAMIC TILE, BAKED ENAMEL OR A RENEWABLE COATING OF AN APPROVED, ANTI-GRAFFITI MATERIAL OR A COMBINATION OF BOTH PURSUANT TO SECTION 91.1707-E. A. SPLIT FACE CMU WALLS SHALL RECEIVE COATING FULL HEIGHT ON EXTERIOR FACE
 - ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE CURRENT EDITION OF UNIFORM BUILDING CODE WITH CITY OF LOS ANGELES AMENDMENTS AND ALL OTHER GOVERNING AGENCIES' REQUIREMENTS. CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODES AND LATEST AMENDMENTS AND WITH ALL OTHER RULES, REGULATION AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL OR BOTH TO BRING TO THE ATTENTION OF THE INSPECTOR AND THE CITY ENGINEER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THE LATEST CITY OF L.A. UNIFORM BUILDING CODE AND ITS AMENDMENTS.
 - THE CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE, SCAFFOLDING OR FALSE WORK MORE THAN THREE-STORIES OR 36 FEET IN HEIGHT, REQUIRES A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. PROVIDE ILLUMINATED EXIT SIGNS AND DIRECTIONAL ILLUM. EXIT SIGNS W/ MIN. 6" HIGH X 3/4" STROKE BLOCK LETTERS IN CONTRASTING BACKGROUND. LOCATIONS AS SHOWN ON PLANS AND AS REQUIRED BY FIRE DEPARTMENT INSPECTOR. WHENEVER THE BUILDING IS OCCUPIED, EXIT SIGNS SHALL BE LIGHTED SO THEY ARE CLEARLY VISIBLE. EXIT PATH LIGHTING SHALL BE PROVIDED FOR HALL WAY, EXIT PASSAGE WAY, & EGRESS TO PUBLIC WAY ANYTIME THE BUILDING IS OCCUPIED.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS IN ACCORDANCE WITH WORK AREA CONTROL HANDBOOK (W.A.T.C.H.) LATEST EDITION.
 - BUILDING APPROVED FIRE/LIFE SAFETY CONTRACTOR WILL PERFORM FIRE/LIFE SAFETY WORK.
 - CONTRACTOR TO PROVIDE PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY U.F.C. AND THE CITY OF LOS ANGELES FIRE DEPT.
 - PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A OR 2-A-10BC WITHIN 75 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION
 - LOCATION OF THE FIRE EXTINGUISHERS SHALL BE AS REQUIRED BY THE FIRE/BUILDING INSPECTOR
 - FIRE SPRINKLER SYSTEM DESIGN SHALL BE APPROVED BY THE CITY OF L.A. PLUMBING DIVISION AND THE CITY ENGINEER PRIOR TO INSTALLATION.
 - ANY DECORATIONS USED SHALL BE NON COMBUSTIBLE OR FLAME RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPES, SHADES, ETC).
 - OCCUPANT LOAD SIGNS SHALL BE POSTED AT EACH ROOM AS REQUIRED BY CODE.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN APPROVAL BY THE LOCAL BUILDING INSPECTOR FOR ALL CONCEALED WORK BEFORE CLOSING UP.
 - THE CONTRACTOR SHALL PAY FOR ALL SURCHARGES, CONNECTION FEES, METER FEES, OR ANY MISC. FEES IMPOSED/REQUIRED BY UTILITY COMPANIES AS PART OF THEIR CONDITION OF SERVICES.
 - NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND SHALL BE ALLOWED WITHOUT ENGINEERED SHORING PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE SUCH PLANS AND OBTAIN REQUIRED APPROVALS.
 - CONTRACTOR SHALL OBTAIN SEPARATE PERMIT FOR SIGNS & YARD WALL. PROVIDE SHOP DRAWINGS AND CALCULATIONS TO L.A. DEPARTMENT OF BUILDING & SAFETY AS REQUIRED TO SECURE PERMIT. ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ACCESSIBILITY AND USABILITY FOR THE PHYSICALLY HANDICAPPED SHALL CONFORM TO STATE OF CALIFORNIA HANDICAP ACCESS LAWS AS STIPULATED BY TITLE 24 AND SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.

FIRE

- ALL EXIT DOORS AND EXIT GATES MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. FLUSH OR SURFACE BOLTS ARE PROHIBITED.
- PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT FIELD INSPECTOR DURING CONSTRUCTION. PROVIDE PERMANENT FIRE EXTINGUISHERS IN NUMBER, SIZE AND LOCATION AS SPECIFIED BY THE FIRE DEPARTMENT WITH ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. ALL SUCH PERMANENT EXTINGUISHERS SHALL BE IN RECESSED CABINETS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL FIRE RATED SPACES TO THE REQUIREMENTS OF THE APPLICABLE CODES AND STANDARDS. PROVIDE COMBINATION FIRE DAMPERS PER CURRENT UBC STANDARDS AND ACCESS PANELS FOR DUCTS AND A.C. FIXTURES WHEN PASSING THROUGH THESE SPACES. PROVIDE APPROPRIATE FIRE RATED ENCLOSURE BEHIND RECESSED LIGHT FIXTURES, WHERE REQUIRED.
- PROVIDE OUTSIDE GAS SHUT-OFF VALVES.
- EXIT LIGHTING SHALL BE PROVIDED GIVING MINIMUM VALUE OF ONE FOOT-CANDLE AT FLOOR LEVEL.

SOUND

- SEPARATE ALL ELECTRICAL AND SIGNAL OUTLET BOXES IN ACOUSTICAL WALLS LOCATED ON OPPOSITE WALL SURFACES HORIZONTALLY BY 12" AND SEPARATED BY A STUD. BACK AND SIDES OF BOXES TO BE SEALED WITH 1/4" RESILIENT SEALANT AND BACKED BY OUTLET BOX PADS AND BY MINIMUM 2" THK. FIBER INSULATION.
- ALL RIGID CONDUIT, DUCTS, PLUMBING PIPES AND APPLIANCE VENTS LOCATED IN ACOUSTICAL WALLS SHALL BE ISOLATED FROM THE STRUCTURE W/ RESILIENT SLEEVES, MOUNTS OR 1/4" RESILIENT MATERIAL OR AS DETAILED.
- ALL VENTILATING AND CONDITIONED AIR DUCTS ARE TO BE LINED.
- AN APPROVED PERMANENT, RESILIENT ACOUSTICAL SEALANT IS TO BE INSTALLED ALONG JOINT BETWEEN FLOOR AND ACOUSTICAL WALLS.
- ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR CEILING ASSEMBLIES SHALL BE SEALED WITH AN APPROVED RESILIENT SEALANT AS SPECIFIED.
- MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOINT SPACES WHENEVER PLUMBING PIPING OR DUCTWORK PENETRATES A FLOOR/CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR/CEILING ASSEMBLY FROM WITHIN A WALL. THE INSULATION SHALL EXTEND 12" BEYOND THE PIPE OR DUCT.
- PROVIDE 3"(R11) SOUND ATTENUATION BATT INSULATION IN ALL WALLS OF REST ROOMS, MECHANICAL ROOMS, ELECTRICAL ROOMS, DUCT SHAFTS U.N.O.

MEANS OF EGRESS

- THE PATH OF EXIT TRAVEL TO AND WITHIN EXITS IN THE BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1003.2.8. EXIT SIGNS SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN.
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES FROM EITHER OF TWO ELECTRIC LAMPS. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE AND BE LISTED FOR THE PURPOSE.
- THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRIC CODE.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. "APPLIES ALSO TO EXIT GATES". THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- POST A SIGN ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1" LETTERING STATING: "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS". MAIN EXIT ONLY.

ENERGY

- INSULATION SHALL CONFORM TO FEDERAL SPECIFICATION HH-1-521E.
- ALL OPENINGS IN INSULATION WALLS SHALL BE PROPERLY WEATHER-STRIPPED OR GASKETED TO LIMIT AIR INFILTRATION. ALL GLASS DOORS SHALL COMPLY WITH AIR INFILTRATION OF CURRENT ANSI STANDARDS.
- THE INSULATION CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE
- ALL GAS APPLIANCES, EXCEPT WATER HEATERS AND RANGE-TOP BURNERS, SHALL BE EQUIPPED WITH INTERMITTENT DEVICES.
- PROVIDE MOTORIZED DAMPERS IN ALL FAN SYSTEMS WHICH EXHAUST AIR FROM THE ENERGY ENVELOPE, EXCEPT WHERE BACKDRAFT DAMPERS ARE SPECIFIED.
- CAULK AROUND ALL PENETRATIONS INTO THE BUILDING ENVELOPE.
- ALL EXTERIOR DOORS SHALL LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION. SEAL OR ASTRAGAL SHALL BE PROVIDED AT HEAD, SILL AND JAMBS. DOORS MOUNTED ON THE INSIDE OR THE OUTSIDE OF EXTERIOR WALLS SHALL HAVE A MINIMUM 1" LAP AT JAMBS. MEETING PORTIONS OF SECTIONAL, BI-PARTING, OR DOUBLE DOORS SHALL BE PROVIDED WITH A WEATHER TIGHT ASTRAGAL OR SEAL. DOORS REQUIRING VERTICAL TRACKS OR GUIDES SHALL USE A CONTINUOUS MOUNTING ANGLE AND SHALL BE SEALED TO LIMIT AIR INFILTRATION.
- FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION.
- EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMS, BETWEEN WALLS & FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OF UTILITIES THRU THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE.
- LOW CONSUMPTION ULTRA FLUSH WATER TOILETS TO BE INSTALLED THROUGHOUT.
- LOW EMISSION GLAZING.

BUILDING AND SAFETY NOTES:

- THE CONSTRUCTION SHALL NOT RESTRICT A 5' CLEAR & UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES.(POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES-WEATHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER & BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158 AND 180.670)(INCLUDES COMMERCIAL ADDITIONS AND TENANT IMPROVEMENT WORK OVER 10,000) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 70" HIGH NON ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE (1210.3 & 2406.3(5), R307.2, R308.4)

STORM WATER - BEST MANAGEMENT PRACTICE

CONTRACTOR MUST COMPLY WITH THE FOLLOWING STANDARDS:

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER. 3

- FUELS, SOILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOT THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION-RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS & OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAY MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY & MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.

MISCELLANEOUS

- MAINTAIN FIRE RESISTIVE INTEGRITY AROUND PENETRATIONS INTO RATED ASSEMBLIES AS FOLLOWS:
 - FOR LARGE OPENINGS (I.E. RECESSED LIGHT FIXTURES), CONSTRUCT 5/8" TYP. GYP. BOARD ENCLOSURE AROUND OBJECT.
 - FOR WIDE GAPS OR CRACKS, USE FIRE SAFE INSULATION (OPENINGS GREATER THAN 1")
 - FOR PIPE/CONDUIT PENETRATIONS, USE FLAME-STOPPING CAULKING OF RATING NOT LESS THAN THAT OF THE ASSEMBLY BEING PENETRATED. MATERIAL SHALL MEET REQUIREMENTS OF UL-1479.
- ALL WATER CLOSETS SHALL BE LOW CONSUMPTION, PER ORDINANCE #156.004
- APPLY CITY OF LOS ANGELES APPROVED GRAFFITI RESISTANT COATING SYSTEM AS SPECIFIED TO THE FULL HEIGHT OF WALL AT ALL EXTERIOR BUILDING WALLS.
- SIGNAGE DEPICTING ACCESSIBILITY TO THE BUILDING SHALL HAVE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND SHALL CONSIST OF A WHITE FIRE ON A BLUE BACKGROUND. THE BLUE SHALL EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595c.
- ALL TOILET ROOMS SHALL BE VENTILATED TO PROVIDE A MIN. OF 5 AIR CHANGES/HOUR (MORE IS REQUIRED PER MECHANICAL DRAWINGS) & CONNECTED DIRECTLY TO THE OUTSIDE.
- WHERE CONFLICT OCCURS ON DRAWING THE ENTIRE SET OF MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND ARCHITECTURAL PLANS MUST BE CONSIDERED FOR ITS RESOLUTION AND MAY NOT BE CONSIDERED AS AN EXTRA WORK FOR THE CONTRACTOR.
- ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE ALL PARTS COME TOGETHER PROPERLY. ALL TRADES SHALL INTERFACE AS REQUIRED FOR COMPLETE AND PROPER EXECUTION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR THE DESIGN, ADEQUACY, INSTALLATION, REMOVAL AND SAFETY OF PERSONS INVOLVED WITH ANY AND ALL ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, SCAFFOLDING AND CONSTRUCTION METHODS. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL CODES, REGULATIONS AND GOVERNING ORDINANCES, ASSIGN SUPERVISION TO A QUALIFIED CONSULTANT AND OBTAIN AND PAY FOR ALL NECESSARY PERMITS INVOLVED WITH BRACING AND SHORING, ETC.

PERMITS:

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND FEES REQUIRED BY THE CITY, COUNTY OF LOS ANGELES, OR STATE LAWS AS DEFINED IN SECTION 91.0201 OF THE MUNICIPAL CODE WHICH WILL BE FURNISHED BY THE CITY ENGINEER, OR DEFINED IN THE TECHNICAL SPECIFICATIONS "SECTIONS". SHALL OBTAIN AND PAY FOR THE FOLLOWING:

- BUILDING PERMIT.
- SEWER ASSESSMENT FEE.
- SEWER CAPPING PERMIT.
- PERMITS TO USE STREET SPACE AND DEPOSIT BUILDING MATERIALS.
- IRRIGATION-SPRINKLER SYSTEM PERMIT.
- SEWER AND STORM DRAIN CONNECTION PERMIT.
- STREET WORK PERMITS
- FIRE PROTECTION PERMIT FOR FIRE ALARM SYSTEM AND SMOKE.
- PLUMBING PERMIT.
- HEATING, VENTILATING & A/C PERMIT.
- FIRE SPRINKLER SYSTEM PERMIT AND PLAN CHECK.
- ELECTRICAL PERMIT.
- SIGN PERMIT AND PLAN CHECK
- ON-SITE STORM DRAINAGE PERMIT.
- BOOK SHELVING PERMIT AND PLAN CHECK.
- WITNESS TEST PERMIT FOR SECURITY SYSTEM
- GRADING PERMIT.
- MASONRY WALL PERMIT LEAD-BASED PAINT, PCB OR CONTAMINATED SOIL
- LEAD, REMOVAL NOTIFICATION PERMIT
- CALIFORNIA GENERAL CONSTRUCTION ACTIVITY STORM WATER PERMIT AND [WET WEATHER EROSION CONTROL PLAN (WEECP)] [STORM WATER POLLUTION PREVENTION PLAN (SWPPP)] FOR STORM WATER POLLUTION CONTROL MEASURES FOR CONSTRUCTION ACTIVITIES.]



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATIE SANTO DOMINGO
 GENERAL MANAGER: MICHAEL A. SHULL
 PROJECT LANDSCAPE ARCHITECT:
 AS-BUILT IS DRAWING:
 LIC. NO. _____ DATE _____



PROJECT NAME:
**SLAUSON SENIOR
 MULTIPURPOSE CENTER**
 ADDRESS:
**5306 SOUTH COMPTON AVE.
 LOS ANGELES, CA 90011**

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17
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△	
△	

PLAN NAME:
GENERAL NOTES

DRAWN BY: SH	APPROVED BY: X.XXXXX
SCALE: NTS.	ISSUE DATE: 10/30/17
W.O. NO. PR21116	FILE NO. 842
DRAWING NO. G101	
SHEET 02 OF 11 SHEETS	

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

GENERAL NOTES:

1. ALL FORMS AND ALIGNMENTS OF PAVING AND LAYOUT SHALL BE REVIEWED AND APPROVED BY THE CITY'S AUTHORIZED REPRESENTATIVE PRIOR TO POURING (GIVE A MINIMUM OF 48 HOURS NOTICE).
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
3. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND CITY'S REPRESENTATIVE.
5. CONTRACTOR MUST CHECK ALL DIMENSION AND SITE CONDITIONS BEFORE STARTING WORK. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR POSSIBLE DEFICIENCIES.
6. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED SIMILAR TO THE DETAILS FOR THE RESPECTIVE MATERIALS.
7. CLEAN-UP SHALL TAKE PLACE ON A DAILY BASIS.

DEMOLITION NOTES:

1. DEMOLITION AND REMOVAL WORK SHALL BE CAREFULLY PERFORMED TO AVOID DAMAGE TO EXISTING TREES NOTED ON THE PLANS AS REMAINING.
2. ALL REMOVAL WORK (EXCEPT AS NOTED) SHALL BE DISPOSED OF OFF-SITE, IN A LEGAL MANNER, AT THE CONTRACTOR'S EXPENSE.
3. CLEAR THE SITE OF GRASS, WEED GROWTH, RUBBISH, DEBRIS, PAVEMENT, CONCRETE, INACTIVE OR ABANDONED FACILITIES, ETC., THAT ARE TO BE REMOVED FOR CONSTRUCTION OF THE SITE IMPROVEMENTS TO THE LIMITS AND DEPTHS SHOWN ON THE PLANS.
4. ABANDONED UNDERGROUND FACILITIES (VERIFIED BY THE CITY OF LOS ANGELES, DEPT. OF RECREATION AND PARKS), ROOTS, ROOTBALLS, THREE INCHES IN DIAMETER AND LARGER, ROCKS AND BROKEN MASONRY LARGER THAN FOUR INCHES IN ANY DIMENSION SHALL BE REMOVED TO A MINIMUM DEPTH OF 12" BELOW FINISH GRADE.
5. MISCELLANEOUS INACTIVE OR ABANDONED UNDERGROUND FACILITIES LOCATED 12 INCHES OR MORE BELOW FINISH GRADE MAY BE REMOVED WITH CITY OF LOS ANGELES, DEPARTMENT OF RECREATION AND PARKS APPROVAL.
6. MISCELLANEOUS ACTIVE LINES WITHIN 12 INCHES OF FINISH GRADE THAT ARE UNCOVERED DURING THE GRADING OPERATIONS SHALL BE PROTECTED.
7. ALL DELETERIOUS MATERIALS WITHIN THE LIMITS OF THE WORK SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR, WHO SHALL MAKE ALL NECESSARY ARRANGEMENTS AND PAY ALL RELATED COSTS.
8. ACTIVE UTILITIES SHALL BE PROTECTED BY AND AT THE EXPENSE OF THE CONTRACTOR. KEEP ANY REQUIRED UTILITY IN OPERATING CONDITIONS DURING ENTIRE PERIOD OF WORK, INCLUDING EXISTING IRRIGATION SYSTEMS FOR LANDSCAPE MAINTENANCE.
9. INACTIVE OR ABANDONED UTILITIES SHALL BE DISCONNECTED, REMOVED, AND PLUGGED OR CAPPED SUBJECT TO THE LOCAL GOVERNING ORDINANCES.
10. SHOULD THE CONTRACTOR ENCOUNTER ANY EXISTING UNDERGROUND UTILITIES NOT SHOWN ON THE DRAWINGS, HE SHALL IMMEDIATELY NOTIFY THE CITY OF LOS ANGELES DEPARTMENT REPRESENTATIVE WHO WILL DETERMINE FURTHER PROCEDURE.
11. BURNING OF DEBRIS WILL NOT BE PERMITTED EXCEPT BY WRITTEN PERMISSION FROM THE AIR POLLUTION CONTROL AUTHORITIES AND LOS ANGELES FIRE DEPARTMENT.



THE CITY OF LOS ANGELES
DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATHIE SANTO DOMINGO
 PROJECT LANDSCAPE ARCHITECT: _____ LIC. NO. _____ DATE: _____
 GENERAL MANAGER: MICHAEL A. SHULL
 AS-BUILT DRAWN BY: _____



PROJECT NAME:
SLAUSON SENIOR
MULTIPURPOSE CENTER
 ADDRESS:
5306 SOUTH COMPTON AVE.
LOS ANGELES, CA 90011

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17
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PLAN NAME:
 GENERAL AND DEMOLITION
 NOTES

DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: NTS.	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842

DRAWING NO.
G102
 SHEET 3 OF 11 SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

ABBREVIATIONS

A ABOVE
 ABOVE FINISH FLOOR
 ACOUSTICAL CEILING TILE
 ACCESS PANEL
 AGGREGATE
 AIR CONDITION
 ALUMINUM
 ANODIZED
 AMERICAN CONCRETE INSTITUTE
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION
 AMERICAN NATIONAL STANDARDS INSTITUTE
 AMERICAN SOCIETY OF CIVIL ENGINEERS
 AMERICAN SOCIETY OF TESTING AND MATERIALS
 AMERICAN WELDING SOCIETY
 AMOUNT
 AND
 ANCHOR BOLT
 ANGLE
 APPROVED
 APPROXIMATE
 ARCHITECT or ARCHITECTURAL
 ASBESTOS
 ASPHALT
 ASPHALTIC CONCRETE
 ASPHALT TILE
 ASSOCIATE ASSOCIATION
 AT
 AUTOMATIC
 AVENUE

ABV.
 A.F.F.
 A.C.T.
 ACP
 AGG.
 A/C
 ALUM.
 ANOD.
 A.C.I.
 AISC or A.I.S.C.
 ANSI
 ASCE
 ASTM
 AWS
 AMT.
 &
 A.B.
 L
 APPD.
 APPROX.
 ARCH.
 ASB.
 ASPH.
 A.C.
 A.T.
 ASSOC.
 ASSN.
 AT
 @
 AUTO
 AVE.

E EACH
 EAST
 ELECTRIC OR ELECTRICAL
 ELEVATION
 ELEVATOR
 ELASTOMERIC MEMBRANE
 EMERGENCY
 EXPOSED CONSTRUCTION
 END VERTICAL CURVE
 ENAMEL
 ENGINEER
 EQUIPMENT
 EQUAL
 ESTIMATE
 EXCAVATE
 EXISTING
 EXPANSION BOLT
 EXPANSION JOINT
 EXTERIOR
 EXTRUDED
 EXTERIOR GRADE
 EYE WASH

EA.
 E.
 ELEC.
 EL.
 ELEV.
 E.M.
 EMER.
 E.C.
 E.V.C.
 EN.
 ENGR. ENG.
 EQUIP.
 EQ.
 EST.
 EXC.
 EXIST.
 E.B.
 E.J.
 EXT.
 EXTR.
 EXT. GR.
 E.W.

M MACHINE
 MANHOLE
 MANUFACTURER or MANUFACTURING
 MINERAL FISSURED TILE
 MARK
 MASONRY OPENING
 MATERIAL
 MAXIMUM
 MECHANICAL
 MEDICINE CABINET
 MEMBRANE WATERPROOFING
 MEZZANINE
 MINIMUM
 MISCELLANEOUS
 MOULDING
 MOUNTED

MACH.
 M.H.
 MFR.
 MFT
 MK.
 MO
 MAT.
 MAX.
 MECH.
 MC
 MWP
 MTL.
 MEZZ.
 MIN.
 MISC.
 MLDG.
 MTD.

STAINLESS STEEL
 STANDARD
 STEEL
 STIFFENER
 STIRRUP
 SMOKE DETECTOR
 STONE
 STRAIGHT GRADE
 STREET
 STRUCTURAL

SS
 STD.
 STL.
 STIFF.
 STIR.
 S.D.
 STN.
 S.G.
 ST.
 STRUCT'L.

SUPPORT
 SURFACED 4 SIDES
 SUSPEND
 SYMBOL
 SYMMETRICAL

T TEMPERATURE
 TERRAZZO
 THICK or THICKNESS
 TELEPHONE
 THRESHOLD
 TONGUE AND GROOVE
 TOP OF
 TOP OF BANK
 TOP OF CURB
 TOP OF FINISH
 TOP OF GRATE
 TOP OF JOINT
 TOP OF MASONRY
 TOP OF METAL DECK
 TOP OF PARAPET
 TOP OF STEEL
 TOP OF STRUCTURAL SLAB
 TOP OF WALL
 TREAD
 TURNBUCKLE
 TYP.

TEMP.
 TERR.
 THK.
 TEL.
 THLD
 T&G
 T.O.
 T.O.B.
 T.O.C
 T.O.F.
 T.G.
 T.O.J.
 T.O.M.
 T.M.D.
 T.O.P.
 TOS / T.O.S.
 T.S.S.
 T.O.W.
 T.
 TRNBKL.
 TYP.

PLASTER, GYPSUM BOARD (SECTION & ELEVATION)
 FINISHED MILLWORK (ARCH) LUMBER (STRUCTURAL)
 PLYWOOD
 METAL-STEEL OR IRON (SECTION) - NOTE IF SPECIAL METAL
 SHEET METAL (SECTION)

EARTH (SECTIONS)
 CONCRETE (SECTIONS)
 INSULATION-BATT
 RIGID INSULATION BOARD

F FACE OF CONCRETE
 FACE OF MASONRY
 FACTORY
 FLUOROCARBON
 RESINOUS COATED
 FACE OF STUD
 FEET/FOOT
 FIREMAN'S PHONE JACK
 FIGURE
 FINISH
 FIN. FACE
 FIRE ALARM PULL
 FIRE EXTINGUISHER
 FIRE HOSE CABINET
 FIRE HYDRANT
 FLANGE
 FLATHEAD WOOD SCREWS
 FLOOR
 FLOOR DRAIN
 FLOW LINE
 FLOOR SINK
 FOOTING
 FOUNDATION
 FABRIC WALL COVERING
 FABRIC WALL PANEL

F.O.C.
 F.O.M.
 FAC.
 F.C.R.
 F.O.S.
 FT.
 F.J.
 FIG.
 FIN.
 F.F.
 F.P.
 F.E.
 F.H.C.
 F.H.
 FLG.
 F.H.W.S.
 F.D.
 F.L.
 F.S.
 FTG.
 FND.
 F.W.C.
 F.W.P.

N NATIONAL
 NATIONAL BOARD OF FIRE UNDERWRITERS
 NATIONAL ELECTRICAL CODE
 NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 NATURAL
 NATURAL GRADE
 NOMINAL
 NORTH
 NOT IN CONTRACT
 NOT TO SCALE
 NUMBER

NATL.
 NBFU
 NEC
 NEMA
 NAT.
 NAT. GR.
 NOM.
 N
 N.I.C.
 N.T.S.
 NO. or #

O OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
 OFFICE
 OVER FLOW DRAIN
 ON CENTER
 OPENING
 OPPOSITE
 OUTSIDE DIAMETER
 OUTSIDE FACE CONCRETE
 OUTSIDE FACE MASONRY
 OUTSIDE FACE STUDS
 OUT TO OUT

O.S.H.A.
 OFF.
 OFD
 O.C.
 OPNG.
 OPP.
 O.D.
 O.F.C.
 O.F.M.
 O.F.S.
 O TO O

U UNIFORM BUILDING CODE
 UNDER CUT
 UNLESS NOTED OTHERWISE

U.B.C.
 UC
 U.N.O.

V VINYL COMPOSITION TILE
 VENTILATOR
 VERTICAL
 VESTIBULE
 VEE JOINT
 VOLUME
 VERIFY IN FIELD
 VINYL WALL COVERING
 VINYL

VCT
 VENT.
 VERT.
 VEST.
 V JT.
 VOL.
 VIF
 VVC
 VYN

G GALLON
 GALVANIZED
 GALVANIZED IRON
 GAGE
 GLASS
 GOVERNMENT
 GRAB BAR
 GRANITE
 GRADE
 GRATING
 GYPSUM BOARD

GAL.
 GALV.
 GI.
 GA.
 GOVT.
 G.B.
 GRAN.
 GR.
 GRTG.
 GYP. BD.

P PAIR
 PAINTED
 PARTITION
 PEDESTAL
 PENNY
 PERFORATED
 PERPENDICULAR
 PICKET FENCE
 PIECE
 PIPE BOLLARD
 PLASTER
 PLASTIC LAMINATE
 PLATE
 PANEL
 POINT
 PORTLAND CEMENT
 CONCRETE
 POUND
 POWER POLE
 PRECAST
 PREFABRICATED
 PROPERTY
 PROPERTY LINE
 PULL CHAIN
 POLYVINYL CHORIDE
 POLYURETHANE ENAMEL
 PLYWOOD

PR.
 PTD.
 PART.
 PED.
 P.
 PERP.
 PERP.
 PF
 PC.
 P.B.
 PLAS.
 P-LAM.
 PL.
 PNL.
 PT.
 P.C.C.
 LB. or #
 P.P.
 PRCST.
 PREFAB.
 PROP.
 P
 P.C.
 PVC
 PVE
 PLYWD.

W WAREHOUSE
 WATER CLOSET
 WATER HEATER
 WATERPROOF or WATERPROOFING
 WATER RESISTANT
 WEIGHT
 WELDED WIRE FABRIC
 WEST
 WIDE FLANGE (STEEL)
 WITH
 WOOD

WHSE
 WC
 W.H.
 WP
 WR
 WT.
 WWF
 W.
 W
 W/
 WD.
 YD.

Y YARD

Q QUARRY TILE
 QT

R RADIUS
 RISER
 RUBBER BASE
 RECTANGLE
 REDWOOD
 REFER TO
 REFLECTED CEILING PLAN
 REFRIGERATOR
 REINFORCE or REINFORCING
 REQUIRED
 REVISION
 RIGHT-OF-WAY
 ROOF
 ROOF DRAIN
 ROOFING
 ROOM
 ROUGH OPENING
 ROUND

RAD.
 R.
 R.B.
 RECTD.
 REDWD.
 RE
 R.C.P.
 REF.
 REINF.
 REQD.
 REV.
 R.O.W.
 RF.
 R.D.
 RFG.
 RM.
 RO.
 RD.

I I BEAM
 INCH
 INFORMATION
 INSIDE DIAMETER
 INSULATION
 INTERIOR
 INTERIOR GRADE
 INTERMEDIATE
 INVERT

H/C
 HGR
 HBD.
 HARD.
 HDW.
 HWD.
 HDR.
 HEX.
 HT.
 H.P.
 H.C.
 H.M.
 HK.
 HORIZ.
 H.B.
 HR.

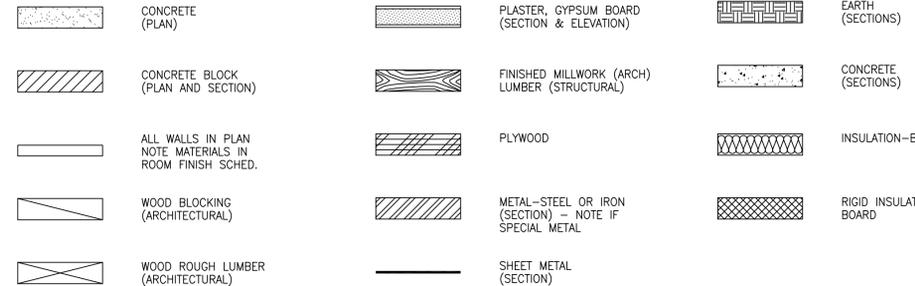
S SANITARY SEWER
 SCHEDULE
 SECTION
 SHEATHING
 SHEET
 SIMILAR
 SINGLE
 SOLID CORE
 SOUTH
 SPECIFICATION
 SPEAKER
 SQUARE
 STAGGERED

SANT. SEW.
 SCH
 SEC.
 SHTHG.
 SHT.
 SIM.
 SGL.
 S.C.
 S.
 SPEC.
 SPK
 SQ.
 STAGG.

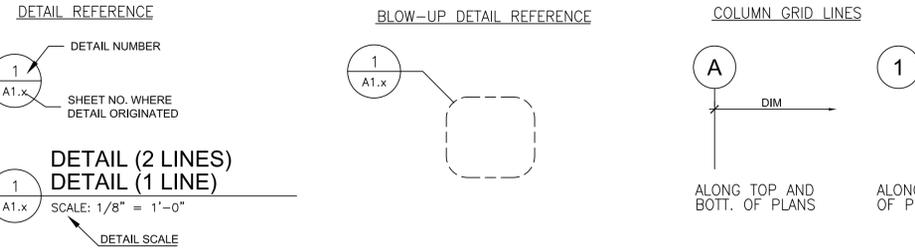
L LABORATORY
 LAMINATE
 LANDING
 LAVATORY
 LEVEL
 LIGHT
 LINOLEUM
 LONG
 LUMBER

LAB.
 LAM.
 LDG.
 LAV.
 LEV.
 LT.
 LINO.
 LG.
 LUM.

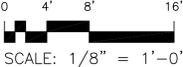
MATERIALS KEY



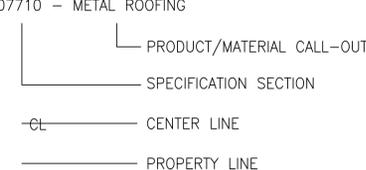
SYMBOL LEGEND



GRAPHIC SCALE



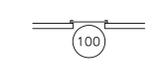
NOTE CALL-OUTS



VERTICAL ELEVATION



ROLL-UP DOOR SYM.



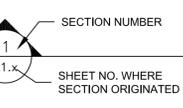
EXIT SIGN



FIRE ALARM PULL



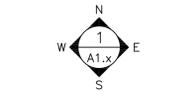
SECTION FLAG



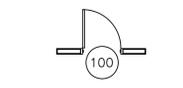
FIRE EXTINGUISHER CABINET



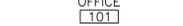
INTERIOR ELEVATION



DOOR IDENTIFICATION



ROOM IDENTIFICATION



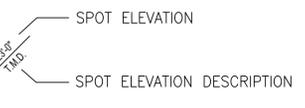
KEYNOTE



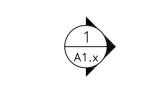
NORTH ELEVATION (FOR REFER. ONLY)



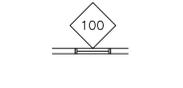
SPOT ELEVATIONS



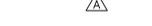
EXTERIOR ELEVATION



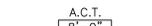
WINDOW IDENTIFICATION



REVISION



CEILING HEIGHT



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATHE SANTO DOMINGO
 GENERAL MANAGER: MICHAEL A. SHULL
 PROJECT LANDSCAPE ARCHITECT:
 ASBULETS DESIGN BY: DATE:



PROJECT NAME:
SLAUSON SENIOR MULTIPURPOSE CENTER
 ADDRESS:
5306 SOUTH COMPTON AVE. LOS ANGELES, CA 90011

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17
△	
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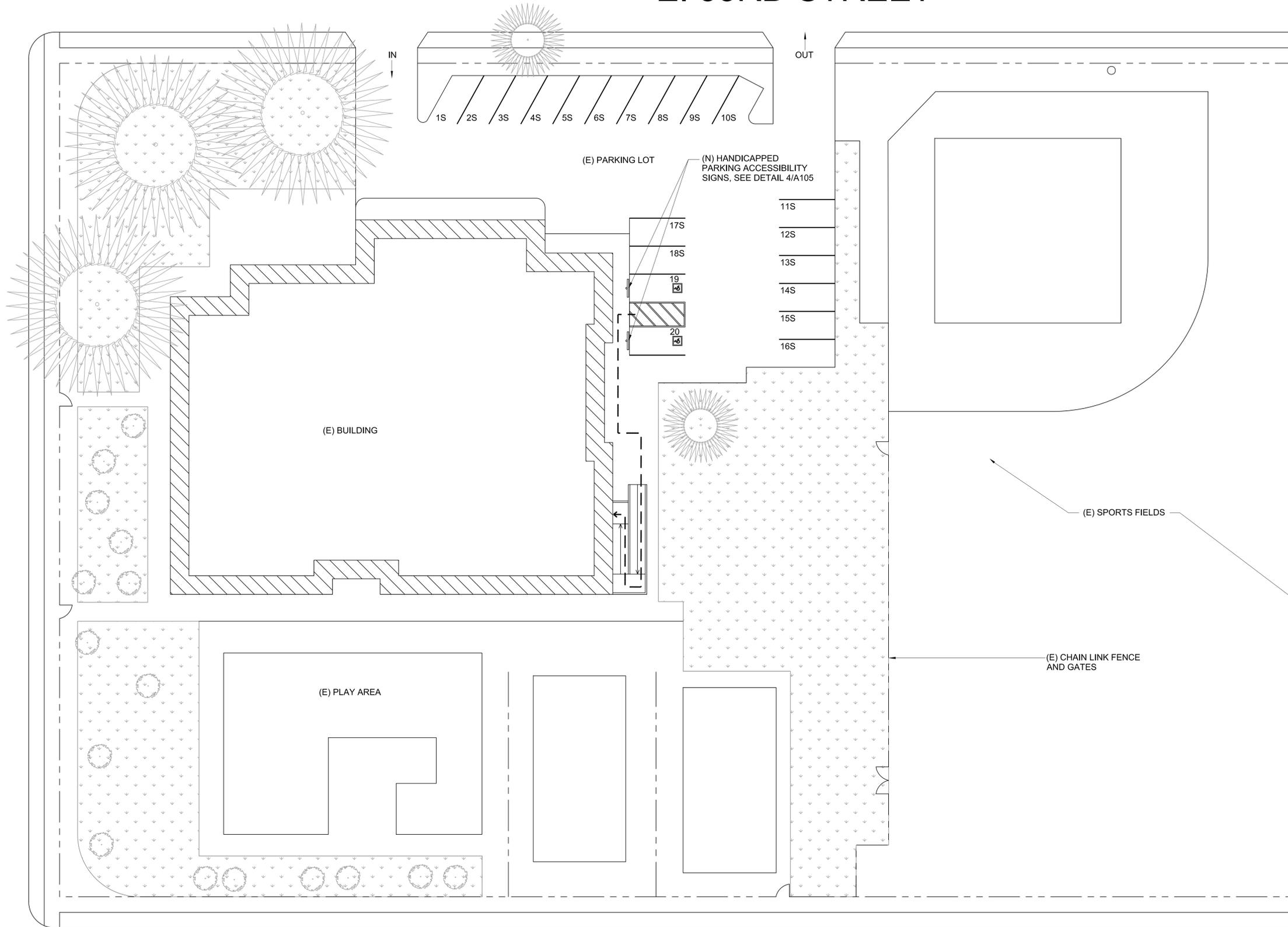
PLAN NAME: SYMBOLS & ABBREVIATIONS	
DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: NTS.	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842

DRAWING NO.
G104
 SHEET 5 OF 11 SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENCIES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

COMPTON AVENUE

E. 53RD STREET



LEGEND:

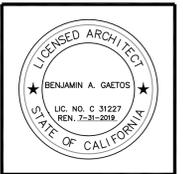
- ADA PATH OF TRAVEL
- (E) EXISTING
- (N) NEW
- S STANDARD PARKING STALL

PARKING COUNT:

EXISTING NUMBER OF PARKING STALLS 20
 EXISTING NUMBER OF REGULAR STALLS 18
 EXISTING NUMBER OF ADA STALLS 2



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 GENERAL MANAGER: MICHAEL A. SHULL
 PROJECT LANDSCAPE ARCHITECT:
 SUPERINTENDENT: CATIE SANTO DOMINGO
 LIC. NO. _____ DATE: _____
 AS-BUILT DRAWING BY: _____



PROJECT NAME:
**SLAUSON SENIOR
 MULTIPURPOSE CENTER**
 ADDRESS:
 5306 SOUTH COMPTON AVE.
 LOS ANGELES, CA 90011

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17
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△	
△	
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PLAN NAME:
 EXISTING SITE PLAN

DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: 1/16" = 1'-0"	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842

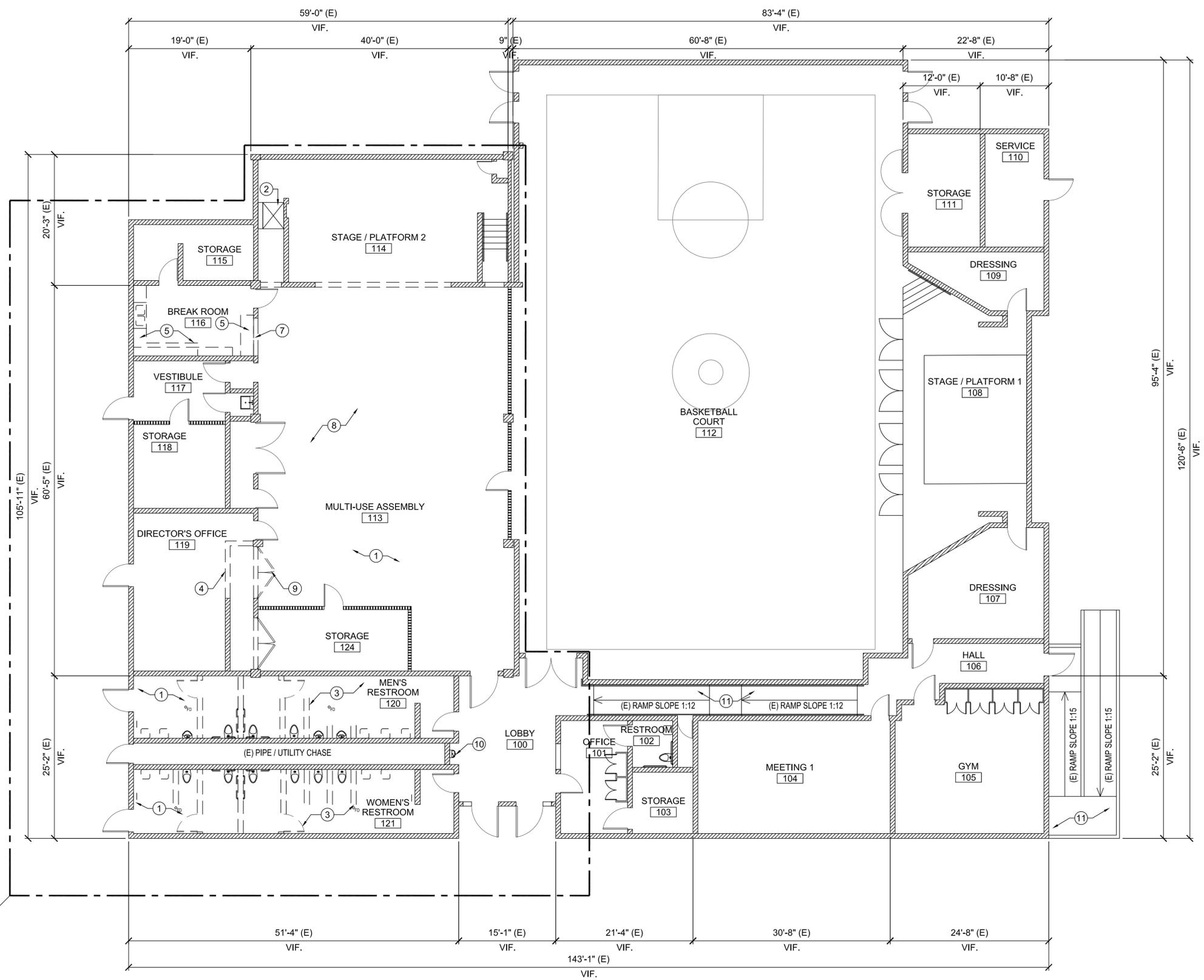
DRAWING NO.
A100
 SHEET 6 OF 11 SHEETS

E. 54TH STREET

1 EXISTING SITE PLAN
 Scale: 1/16" = 1'-0"



THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENCIES SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.



- LEGEND:**
- EXISTING 8" THICK CONCRETE BLOCK WALL TO REMAIN
 - EXISTING 2X4 STUD PARTITION WALL TO REMAIN
 - WALL TO BE REMOVED
- KEYNOTES:**
1. CLEAN EXISTING WALL & CEILING FINISH AND PREP FOR NEW PAINT, TYPICAL THROUGHOUT
 2. REMOVE EXISTING NON OPERATIONAL WHEELCHAIR LIFT PREP FOR INSTALL OF NEW WHEELCHAIR LIFT
 3. REMOVE (E) TOILET PARTITION WALLS, PLUMBING FIXTURES, TOILET ACCESSORIES, HAND DRYERS, ETC. CAP UTILITY LINES AS REQUIRED
 4. REMOVE (E) WALL
 5. REMOVE (E) COUNTERS AND CABINETS
 6. NOT USED
 7. REMOVE (E) PASS THROUGH ROLL UP WINDOW, INSTALL (N) PASS THROUGH ROLL UP WINDOW PER SPECIFICATION
 8. REMOVE (E) DOOR KNOBS AND REPLACE WITH NEW LEVER TYPE DOOR HANDLE. TYP. TO 13 DOORS SEE KEYNOTE 2 ON A102
 9. REMOVE (E) CLOSET DOORS
 10. REMOVE (E) DRINKING FOUNTAIN
 11. EXISTING ADA COMPLIANT RAMP AND HANDRAILS TO REMAIN



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATIE SANTO DOMINGO
 GENERAL MANAGER: MICHAEL A. SHULL
 PROJECT LANDSCAPE ARCHITECT:
 AS-BUILT DRAWING BY:



PROJECT NAME:
SLAUTSON SENIOR
MULTIPURPOSE CENTER
ADDRESS:
5306 SOUTH COMPTON AVE.
LOS ANGELES, CA 90011

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17

PLAN NAME:
EXISTING FLOOR PLAN

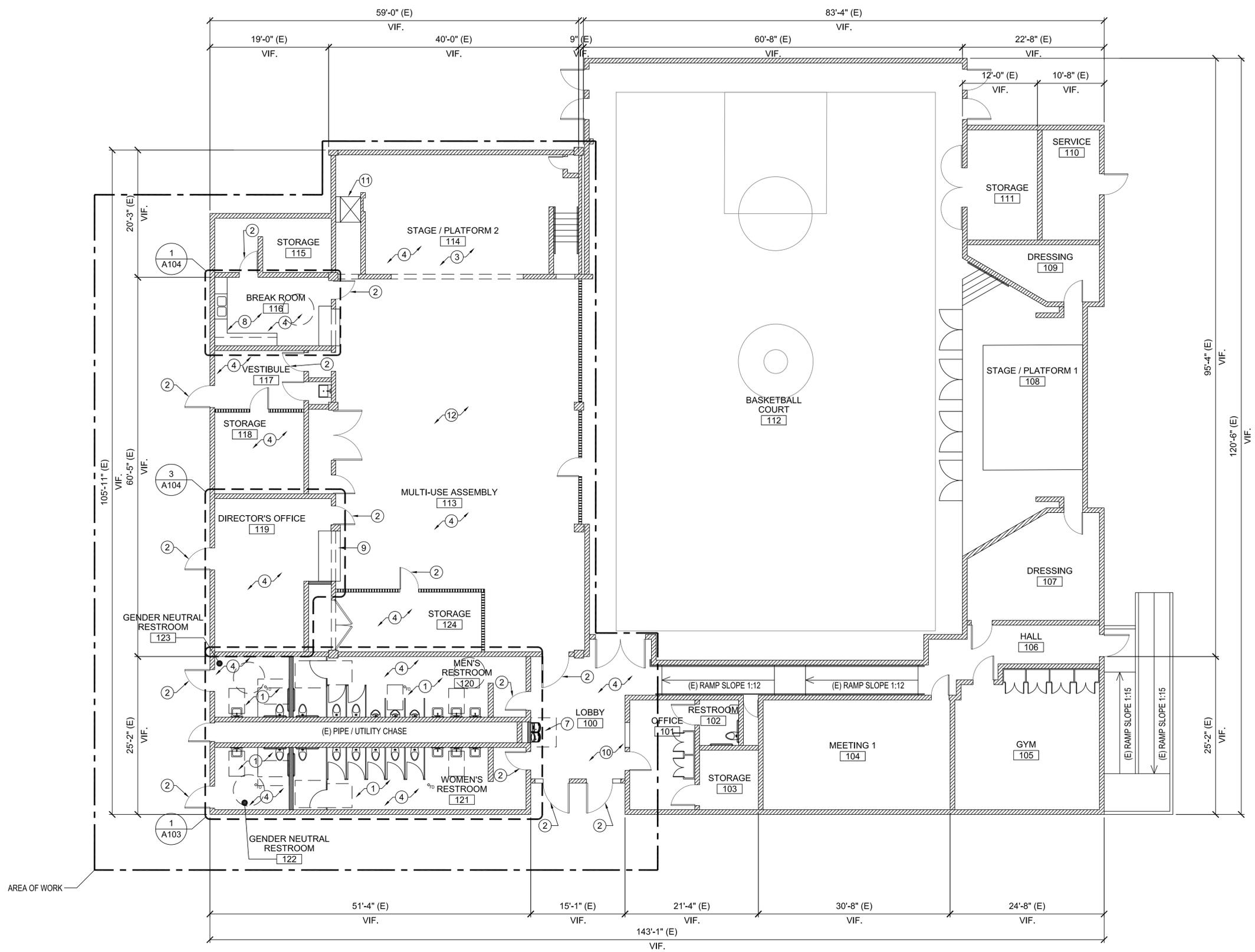
DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: 1/8" = 1'-0"	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842

DRAWING NO.
A101
SHEET 7 OF 11 SHEETS

1 EXISTING FLOOR PLAN
Scale: 1/8" = 1'-0"



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- LEGEND:**
- EXISTING 8" THICK CONCRETE BLOCK WALL TO REMAIN
 - EXISTING 2X4 STUD PARTITION WALL TO REMAIN
 - NEW WALL

- KEYNOTES:**
1. UPGRADE (E) RESTROOM, FOR ENLARGED PLAN, SEE 1/A103
 2. REMOVE (E) DOOR KNOB PROVIDE (N) LEVER TYPE HANDLE AND LOCKS
 3. REFINISH (E) WOOD FLOOR
 4. PAINT BUILDING INTERIOR, COLOR TO BE DETERMINED BY ARCHITECT.
 5. INSTALL NEW VCT FLOORING
 6. NOT USED
 7. INSTALL NEW DRINKING FOUNTAIN, PROVIDE POWER SOURCE PER SPECIFICATION
 8. INSTALL NEW COUNTERS, CABINETS AND FIXTURES
 9. (N) COUNTER @ 2'-10" AFF.
 10. REMOVE (E) GLUE ON CEILING TILES IN LOBBY THROUGHOUT. PROVIDE (N) GLUE ON CEILING TILES
 11. INSTALL NEW WHEELCHAIR LIFT
 12. PROVIDE AND INSTALL NEW FIRE ALARM

- NOTES:**
- A. ALL (N) DOORS U.N.O. SHALL BE SOLID CORE DOORS.
- B. DOOR FRAMES SHALL BE PRESSED METAL STEEL, 16 GA.
- C. HARDWARE SPECS (EA. DOOR):
- | | |
|--------------|-------------------------|
| 3- HINGE | FSB199 4 1/2" X 4 1/2" |
| 1- LOCKSET | 32D
45H-7R15H
630 |
| 1- CLOSER | 4041TH
AL
630 |
| 1- KICKPLATE | 90 10" X 2" LDW
630 |
| 1- STOP | 1214CK
TR |
| 1- SILENCER | 1606
GRAY |
- D. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF DOORS, TOILET FIXTURES, TOILET ACCESSORIES, FINISH MATERIALS, ETC. AS REQUIRED BY THE ARCHITECT.



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATHE SANTO DOMINGO
 GENERAL MANAGER: MICHAEL A. SHULL
 PROJECT LANDSCAPE ARCHITECT:
 AS-BUILT DRAWING:



PROJECT NAME:
SLAUSON SENIOR
MULTIPURPOSE CENTER
ADDRESS:
5306 SOUTH COMPTON AVE.
LOS ANGELES, CA 90011

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17

PLAN NAME:
PROPOSED FLOOR PLAN

DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: 1/8" = 1'-0"	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842
DRAWING NO. A102	
SHEET 8 OF 11 SHEETS	

1 PROPOSED FLOOR PLAN
Scale: 1/8" = 1'-0"



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LEGEND:

- EXISTING 8" THICK CONCRETE BLOCK WALL TO REMAIN
- 2X4 STUD WALL WITH FINISH AS SCHEDULED. SEE DETAIL 1/A105

NOTES:

- A. INSTALL NEW KICK PLATES AT RESTROOM DOORS. SEE DETAIL 3/A105
- B. INSTALL NEW ADA SIGNS AT RESTROOM DOORS AND ADJACENT WALL. SEE DETAIL 3/G103
- C. (E) FLOOR DRAINS TO REMAIN

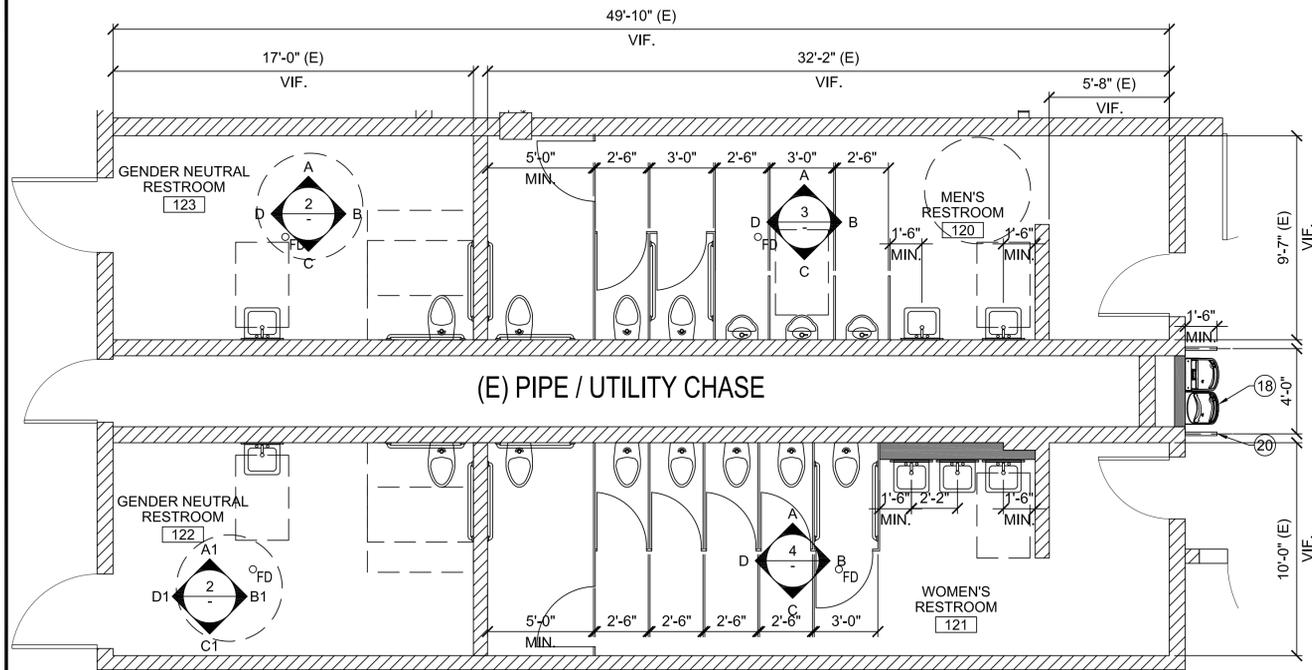
KEYNOTE

DESCRIPTION

MANUFACTURER / MODEL

COLOR / FINISH

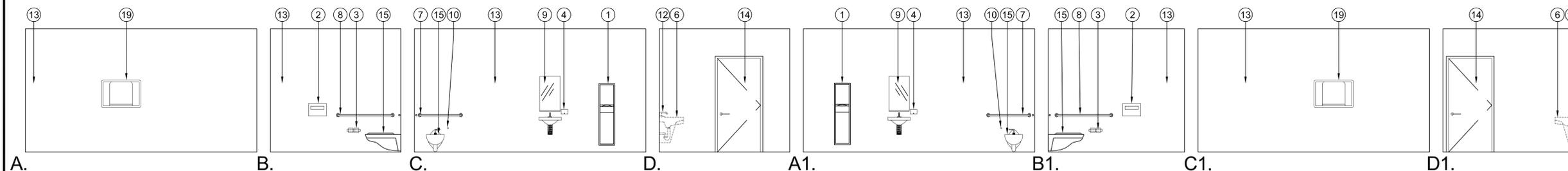
KEYNOTE	DESCRIPTION	MANUFACTURER / MODEL	COLOR / FINISH
1.	SURFACE MOUNTED PAPER TOWEL DISPENSER AND	BOBRICK B-380349	STAINLESS STEEL WASTE RECEPTACLE
2.	SURFACE MOUNTED TOILET SEAT COVER DISPENSER	BOBRICK B-221	STAINLESS STEEL
3.	MULTI-ROLL TOILET TISSUE DISPENSER	GLEN PRODUCTS PH-E200DR-WH	WHITE
2.	SURFACE MOUNTED LIQUID SOAP DISPENSER	BOBRICK B-2112	STAINLESS STEEL
5.	WATER RESISTANT PHENOLIC PLASTIC TOILET COMPARTMENT - WALL / FLOOR HUNG	GLEN PRODUCTS	TBD.
6.	WALL HUNG LAVATORY	AMERICAN STANDARD MODEL # 0356.421	WHITE
7.	1-1/4" DIA. X 36" GRAB BAR ST. STEEL, PEENED NON-SLIP GRIPPING SURFACE FINISH	BOBRICK B-5806.99 X 36	STAINLESS STEEL
8.	1-1/4" DIA. X 42" GRAB BAR ST. STEEL, PEENED NON-SLIP GRIPPING SURFACE FINISH	BOBRICK B-5506.99 X 42	STAINLESS STEEL
9.	MIRROR / SHELF COMBINATION	BOBRICK - 166 1830	STAINLESS STEEL
10.	FLUSH CONTROL AT WIDE SIDE ACCESSIBLE WTR. CLOSET		
11.	FLUSH VALVE (WATER CLOSET)	SLOAN 111-1.28	CHROME
12.	FAUCET	CHICAGO 3500-E2805ABCP (SLF MTR)	
13.	(E) CONC. MASONRY WALL	TBD.	SEMI-GLOSS PAINT
14.	(N) DOOR HARDWARE WITH ADA COMPLIANT DOOR LEVER, REFINISH DOOR AND INSTALL (N) STAINLESS STEEL KICKPLATE		TBD.
15.	WALL MOUNTED WATER CLOSET	AMERICAN STANDARD AFWALL FLOWISE	WHITE
16.	FLUSH VALVE (URINAL)	SLOAN 186.0.125	CHROME
17.	WALL HUNG URINAL	AMERICAN STANDARD MODEL # 6590.501	WHITE
18.	DRINKING FOUNTAIN	ELKAY EZH20 BOTTLE FILLING STA. EZSTL8WS(VR)*K	STAINLESS STEEL
19.	BABY DIAPER CHANGER	KOALA KARE PRODUCTS - KB200-01SS	GREY
20.	GUIDE RAIL	BROBRICK - 819298	STAINLESS STEEL



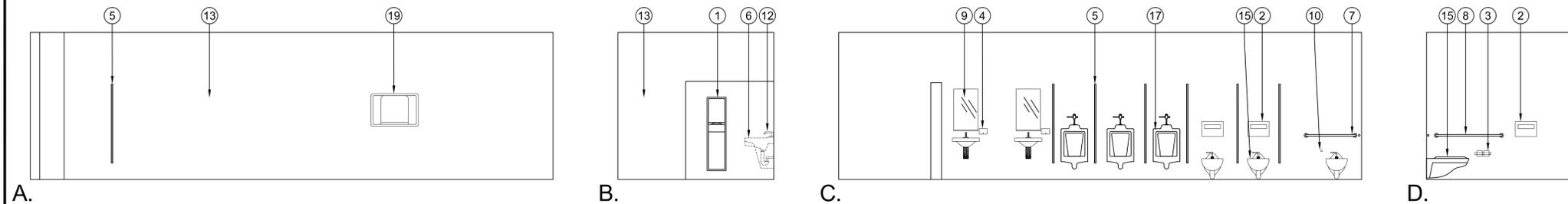
1 PROPOSED RESTROOM PLAN
Scale: 1/4" = 1'-0"

* FOR ADA FIXTURE MOUNTING HEIGHTS AND REQUIRED CLEARANCES, SEE SHEET G103

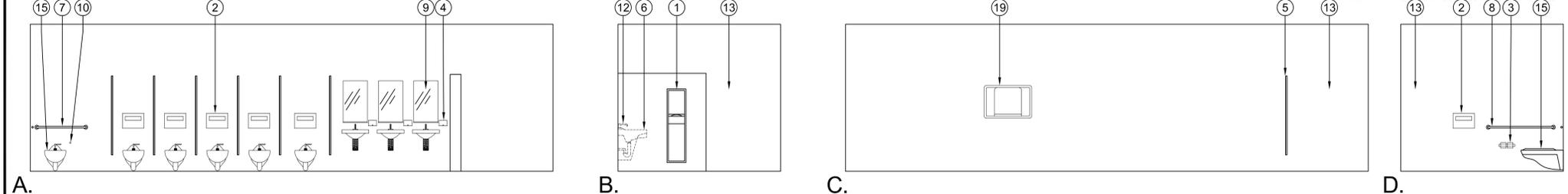
** ALL PRODUCTS TO BE AS SPECIFIED OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



2 PROPOSED RESTROOM ELEVATIONS - GENDER NEUTRAL
Scale: 1/4" = 1'-0"



3 PROPOSED RESTROOM ELEVATIONS - MEN'S
Scale: 1/4" = 1'-0"



4 PROPOSED RESTROOM ELEVATIONS - WOMEN'S
Scale: 1/4" = 1'-0"



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATIE SANTO DOMINGO
 GENERAL MANAGER: MICHAEL A. SHULL
 PROJECT LANDSCAPE ARCHITECT:
 AS-BUILT DRAWING:



PROJECT NAME:
 SLAUSON SENIOR
 MULTIPURPOSE CENTER
ADDRESS:
 5306 SOUTH COMPTON AVE.
 LOS ANGELES, CA 90011

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17
△ REVISION 1	01/03/18
△	
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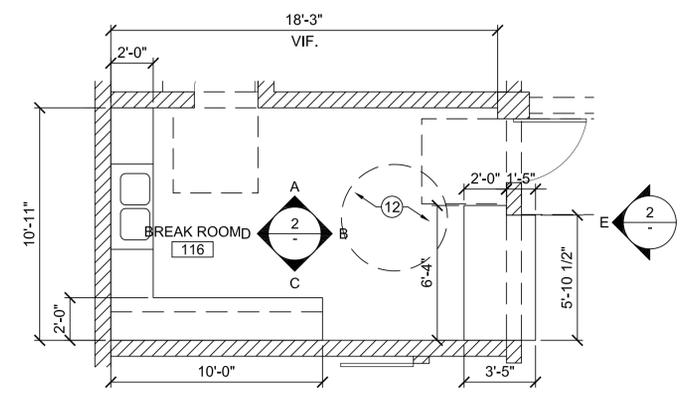
PLAN NAME:
ENLARGED RESTROOM
PLANS AND ELEVATIONS

DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: 1/4" = 1'-0"	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842
DRAWING NO. A103	
SHEET 9 OF 11 SHEETS	

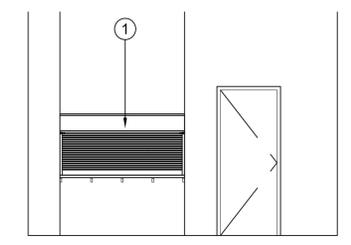
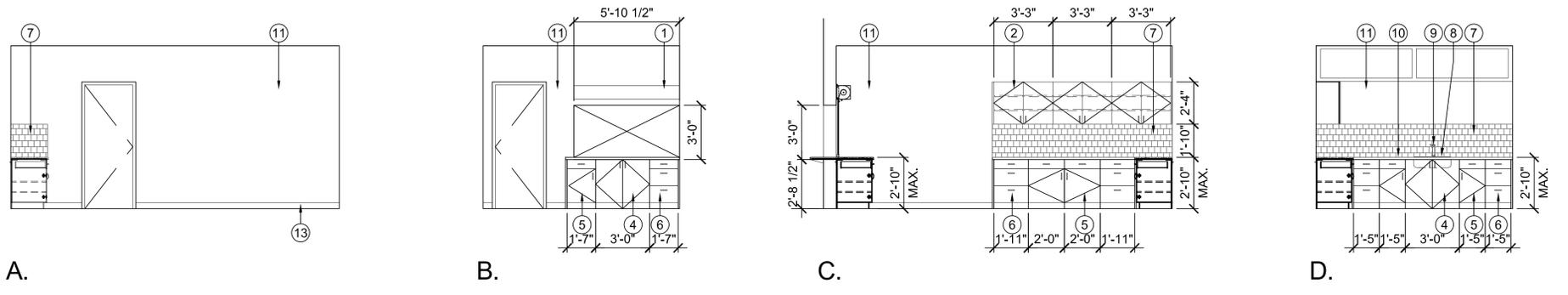
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NOTES:	KEYNOTE	DESCRIPTION	MANUFACTURER / MODEL	COLOR / FINISH
CASE BODY: MIN. 5/8" PLYWOOD.	1.	(N) PASS THROUGH ROLL UP DOOR TO REPLACE EXISTING	COOKSON DOORS MODEL AD	STAINLESS STEEL
CASE BACK: MIN. 1/4" WHITE MCP (MELAMINE COATED PLYWOOD).	2.	UPPER CABINET 16" DEEP WITH ADJUSTABLE SHELVES	WILSONART - PLASTIC LAMINATE	HIGH LINE, 7970
TOE/BASE: MATCH EXTERIOR.	3.	UPPER CABINET 16" DEEP X 17" HIGH	WILSONART - PLASTIC LAMINATE	HIGH LINE, 7970
DOORS/DRAWERS: WILSONART HIGH LINE 7970, (OR EQUAL).	4.	BASE CABINET WITH DOOR	WILSONART - PLASTIC LAMINATE	HIGH LINE, 7970
(IF EXTERIOR IS TO BE WOOD, COAT IN CLEAR ACRYLIC IN SATIN FINISH)	5.	BASE CABINET WITH DOOR AND 1 DRAWER	WILSONART - PLASTIC LAMINATE	HIGH LINE, 7970
DRAWER BOX: 1/2" WHITE MELAMINE	6.	BASE CABINET WITH 3 DRAWERS	WILSONART - PLASTIC LAMINATE	HIGH LINE, 7970
DRAWER BOTTOM: 1/4" WHITE MELAMINE	7.	4X4 CERAMIC TILE BACKSPASH, GLOSS FINISH	DAL TILE	TBD.
SHELF: MIN. 1 1/16" BIRCH OR MAPLE PLYWOOD, NOTCHED FOR LIBERTY HARDWARE 3-3/4" TAPERED BOW PULL, CHROME FINISH	8.	DOUBLE BOWL TOP MOUNT SINK - SINK DRAIN - GARBAGE DISPOSAL	CROSSTOWN ECTS RAD33226 ELKAY - LK35B INSINKERATOR - BADGER 5	STAINLESS STEEL STAINLESS STEEL
HINGES: P0270A-PC-C OR APPROVED EQ. BLUM CLIP-TOP 110" CONCEALED HINGE OR SIMILAR.	9.	FAUCET	DELTA B4310LF - SSSD	STAINLESS STEEL
DRAWER GUIDES: ACCURIDE 3832 OR EQUAL.	10.	COUNTERTOP	WILSONART - SOLID SURFACE	ZEN GREY, 9115GS
SHELF CLIPS: SECURA CLIP-IN 5 MM HOLES.	11.			SEMI-GLOSS INTERIOR PAINT
*** FOLLOW MANUFACTURER'S INSTRUCTIONS ON ALL ITEMS	12.	2X2 CERAMIC TILE FLOOR UNGLAZED	DALTILE	TBD.
	13.	COVE BASE UNGLAZED	DALTILE	TBD.

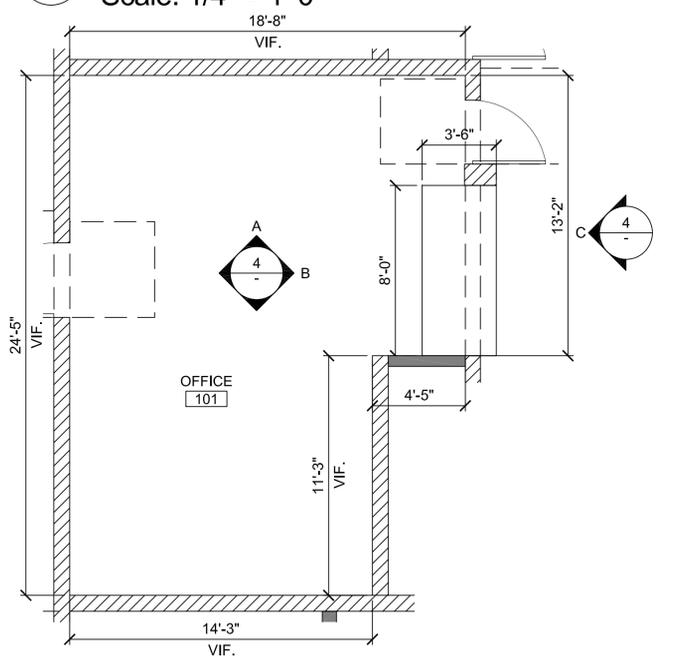
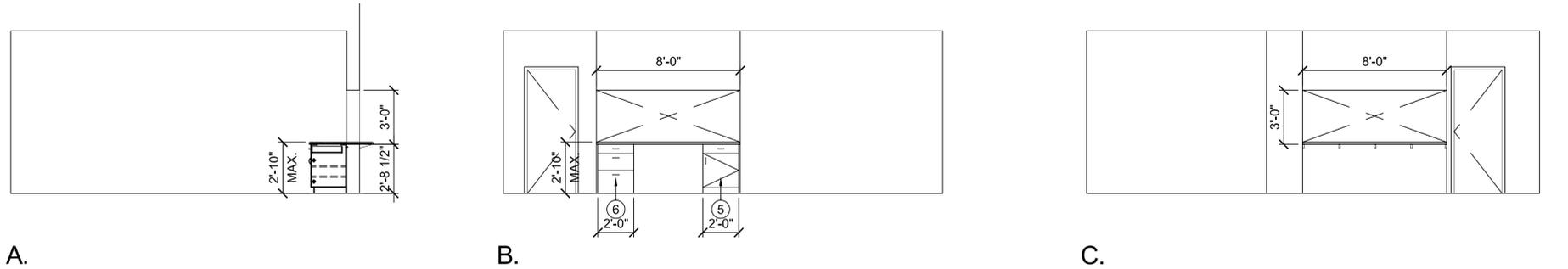
LEGEND:
 EXISTING 8" THICK CONCRETE BLOCK WALL TO REMAIN
 2X4 STUD WALL WITH FINISH AS SCHEDULED. SEE DETAIL 1/A105



1 PROPOSED BREAK ROOM PLAN
 Scale: 1/4" = 1'-0"



2 PROPOSED BREAK ROOM ELEVATIONS
 Scale: 1/4" = 1'-0"



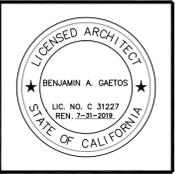
4 PROPOSED OFFICE ELEVATIONS
 Scale: 1/4" = 1'-0"

3 PROPOSED OFFICE PLAN
 Scale: 1/4" = 1'-0"

* FOR ADA FIXTURE MOUNTING HEIGHTS AND REQUIRED CLEARANCES, SEE SHEET G103
 ** ALL PRODUCTS TO BE AS SPECIFIED OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



THE CITY OF LOS ANGELES
 DEPARTMENT OF RECREATION AND PARKS
 SUPERINTENDENT: CATHE SANTO DOMINGO
 PROJECT LANDSCAPE ARCHITECT:
 GENERAL MANAGER: MICHAEL A. SHULL
 LIC. NO. _____ DATE: _____
 AS BUILT DRAWING BY: _____



PROJECT NAME:
SLAUSON SENIOR MULTIPURPOSE CENTER
 ADDRESS:
 5306 SOUTH COMPTON AVE.
 LOS ANGELES, CA 90011

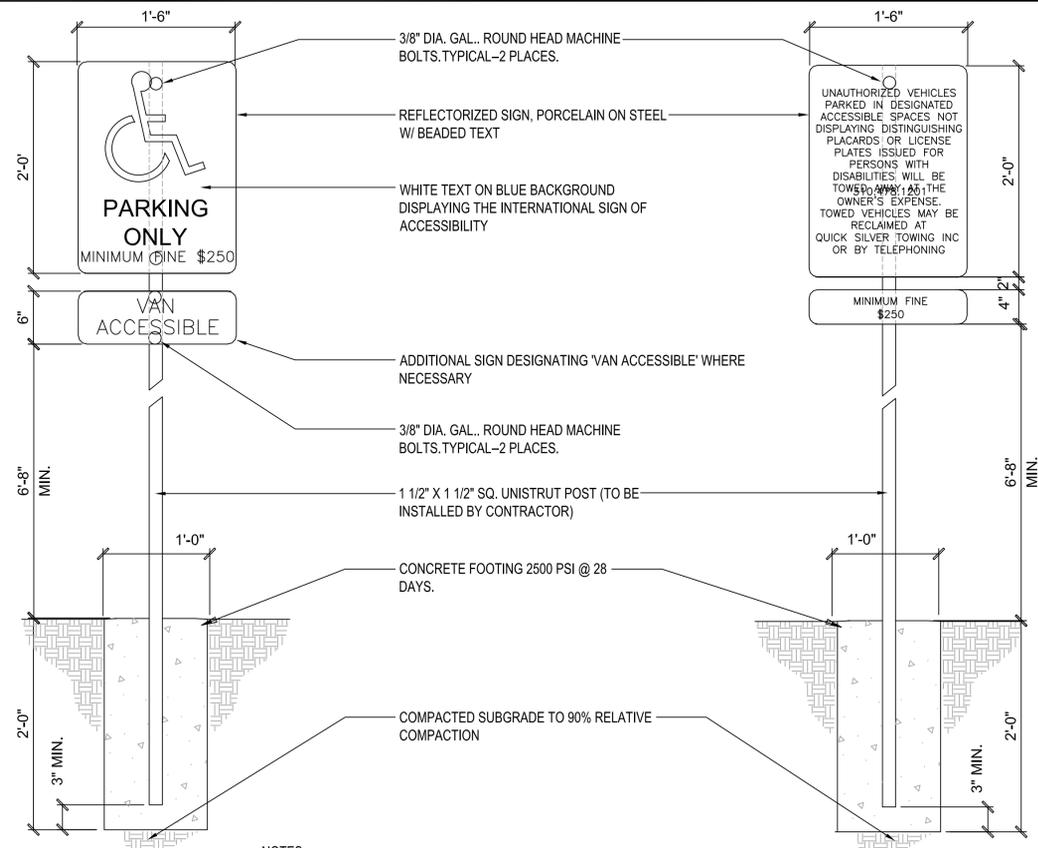
REVISIONS:	DATE:
PLAN CHECK SET	10/30/17

PLAN NAME:
 ENLARGED BREAK ROOM AND OFFICE PLANS AND ELEVATIONS

DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: 1/4" = 1'-0"	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842

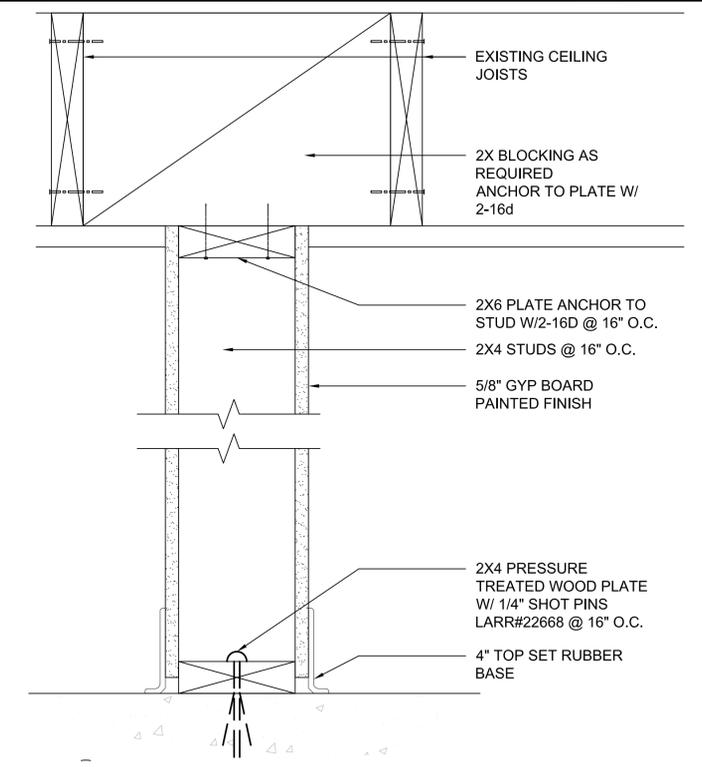
DRAWING NO.
A104
 SHEET 10 OF 11 SHEETS

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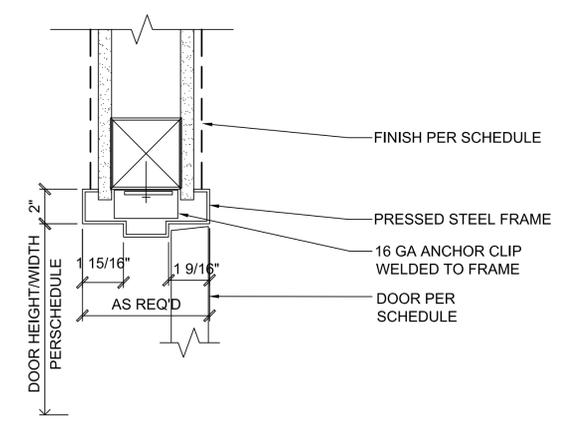


- NOTES:
- EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND, WHEN IN A PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE. (1129B.4, FIG 11B-18A, 18B, & 18C)
 - VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN STATING "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. (1129B.4)
 - AN ADDITIONAL SIGN SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17 INCHES BY 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING: (1129B.4)
- "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT 5875 RODEO ROAD OR BY TELEPHONING (310) 478.1201.

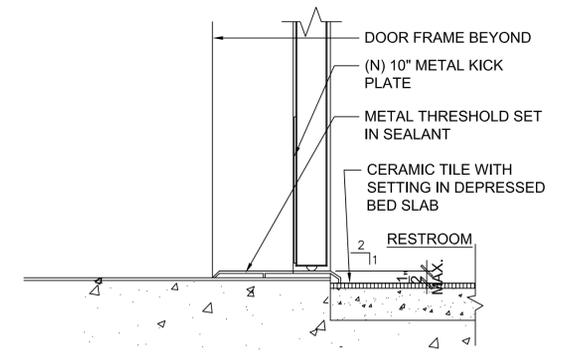
4 PARKING SIGNAGE
Scale: 1/2"=1'-0"



1 PARTITION TYPE A
Scale: 3"=1'-0"



2 DOOR HEAD DETAIL @ STUD WALL
Scale: 3"=1'-0"



3 DOOR SILL DETAIL @ RESTROOM
Scale: 3"=1'-0"



THE CITY OF LOS ANGELES
DEPARTMENT OF RECREATION AND PARKS
SUPERINTENDENT: CATHIE SANTO DOMINGO
GENERAL MANAGER: MICHAEL A. SHULL
PROJECT LANDSCAPE ARCHITECT:
AS-BUILT DRAWING:
LIC. NO. _____
DATE: _____



PROJECT NAME:
SLAUSON SENIOR MULTIPURPOSE CENTER
ADDRESS:
5306 SOUTH COMPTON AVE.
LOS ANGELES, CA 90011

REVISIONS:	DATE:
PLAN CHECK SET	10/30/17
△	
△	
△	
△	

PLAN NAME:
DETAILS

DRAWN BY: SH	APPROVED BY: X. XXXXX
SCALE: AS NOTED	ISSUE DATE: 10/30/17
W.O. NO. PRJ21116	FILE NO. 842

DRAWING NO.
A105
SHEET 11 OF 11 SHEETS