

APPROVED
MAY 07 2020

**BOARD OF RECREATION
AND PARK COMMISSIONERS**

BOARD REPORT

NO. 20-077

DATE May 7, 2020

C.D. 14

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: TRACT MAP NO. VTT-82988 – RECOMMENDATION TO THE ADVISORY AGENCY FOR LAND DEDICATION OR IN-LIEU PARK FEE PAYMENT

AP Diaz	_____	S. Piña-Cortez	_____
H. Fujita	_____ <i>fu</i>	* C. Santo Domingo	_____ <i>DF</i>
V. Israel	_____	N. Williams	_____

M. Slue

General Manager

Approved X Disapproved _____ Withdrawn _____

RECOMMENDATIONS

1. Recommend that the Advisory Agency require Tract Map No. VTT-82988 (Project) to pay in-lieu fees to the City in order fulfill the Project’s requirements under provisions of Los Angeles Municipal Code Section 12.33; and,
2. Authorize the Department of Recreation and Parks’ (RAP) General Manager or designee to provide a Report to the Advisory Agency informing them of the Board of Recreation and Park Commissioners’ (Board) recommendation.

PARK FEE SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update Ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or to pay a fee in-lieu (Park Fee) for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in Los Angeles Municipal Code (LAMC) Section 12.33 C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

LAMC Section 17.03 (Advisory Agency) states that “[t]he Advisory Agency is charged with the duty of making investigations and reports on the design and improvement of proposed subdivisions, of requiring the dedication of land, the payment of fees in lieu thereof, or a combination of both, for the acquisition and development of park and recreation sites and facilities...”. The Director of the City Planning Department (City Planning) is designated as the Advisory Agency for the City of Los Angeles and is authorized to act in such capacity through one or more deputies appointed by him or her for that purpose.

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LAMC Section 17.04 (Subdivision Committee) states that RAP is to submit a Report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both for the acquisition and development of park or recreational sites and facilities to serve the future inhabitants of such subdivision...".

PROJECT SUMMARY

The proposed Project, located at 412 – 426 South Crocker Street and 411 – 425 South Towne Avenue in the Downtown Skid Row community of the City, consists of a mixed-use project with 175 residential units, 173 of which are affordable, and approximately 8,691 square feet (SF) of commercial retail space and a subterranean parking garage.

The proposed Project also includes approximately 9,129 SF of common open space, including two outdoor courtyards and a community room.

The Project, as submitted to City Planning, is not proposing to make a park land dedication to the City of Los Angeles either on-site or off-site of the Project location.

Conceptual renderings of the Project are attached (Attachment 1).

EARLY CONSULTATION MEETING

Pursuant to LAMC Section 12.33 D.1, applicants of residential Subdivision projects with more than fifty (50) residential dwelling units are required to meet with RAP and City Planning prior to submitting a tract map application to City Planning. Per LAMC Section 12.33 D.1, "[t]he purpose of this early consultation is to discuss whether the City requires land dedication for the project and/or to discuss credits available to the applicant, if any."

RAP and City Planning staff held an Early Consultation meeting with Project representatives on **March 31, 2020**. The meeting included a discussion of the requirements of LAMC Section 12.33, the maximum land dedication that the Project could be required to provide, options and opportunities for on-site or off-site park land dedications, the calculation of Park Fees, and the various recreational credits available to the proposed Project.

ADVISORY AGENCY

The proposed Project filed a tract map application with City Planning on **January 7, 2020**. On January 15, 2020, the Advisory Agency sent RAP a notification requesting RAP provide its report and recommendations on the Project by a deadline identified as "**Upon Receipt**." The Advisory Agency Filing Notification is attached (Attachment 2).

It should be noted that City Planning accepted the tract map application for the Project prior to the required Early Consultation meeting. After RAP staff received the above notification, staff contacted City Planning staff and advised them that the project had not yet participated in the

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required Early Consultation meeting and that the Project application should be placed on hold until the required Early Consultation Meeting was completed. RAP staff advised City Planning staff that RAP's comments for the proposed Project would be provided after the required Early Consultation meeting was held and the Board had an opportunity to consider the project and provide a report to the Advisory Agency.

If no written Report is provided to the Advisory Agency, the Advisory Agency will assume that RAP has no report to make.

REQUIRED LAND DEDICATION AND IN-LIEU FEE PAYMENT

Pursuant to LAMC Section 12.33 C, "All new residential dwelling units and joint living and work quarters shall be required to dedicate land, pay a fee, or provide a combination of land dedication and fee payment for the purpose of acquiring, expanding and improving park and recreational facilities for new residents."

LAMC 12.33 D.2.b states "Any land dedication for park and recreation purposes shall not be deducted from a site's gross lot area for the purposes of calculating project density, lot area, buildable area or floor area ratio."

Land Dedication

LAMC Section 12.33 D states that residential Subdivision projects with more than fifty (50) residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The maximum amount of land that the Advisory Agency could require a project to dedicate to the City is calculated based on the formula detailed in LAMC Section 12.33 D.2:

- **LD = (DU x P) x F**
 - **LD** = Land to be dedicated in acres.
 - **DU** = Total number of new market-rate dwelling units.
 - **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
 - **P = 2.88**
 - **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
 - **F = 0.00251 (2.51 acres of park land per 1,000 residents)**

The **maximum** required land dedication for the Project's proposed 175 units would be:

$$1.27 \text{ Acres} = (175 \times 2.88) \times 0.00251$$

The amount of land that is required to be dedicated is subject to change depending on the Park Service factor in effect at the time the Project is required to dedicate the land; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on

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site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

As currently proposed, the Project has 173 affordable units that would likely qualify for an exemption per LAMC Section 12.33 C.3. If those dwelling units are ultimately determined to be exempt, the maximum required land dedication for the Project would be:

$$\mathbf{0.01\ Acres} = (2 \times 2.88) \times 0.00251$$

Per LAMC Section 12.33 D.3, land dedications may be made on-site or off-site of the project location. Any off-site land dedication shall be located within a certain radius of the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

While the Advisory Agency has the authority to require the Project to dedicate land to the City for park purposes, the Board would need to approve any proposed park land dedication before that land can be acquired and accepted by the City. Therefore, if the Advisory Agency requires the Project to dedicate land to the City, RAP staff would need to prepare a subsequent report to the Board regarding the proposed land dedication. That report would detail the amount and location of the land being dedicated, and the improvements, if any, proposed to be developed on the dedicated property. Additionally, if it is determined that the Project will provide a combination of land dedication and fee payment, the report would also identify the amount of in-lieu fees that would be owed to the City after RAP credits the Project for the amount of land being dedicated.

In-Lieu Fee Payment

Pursuant to LAMC Section 12.33, the Park Fee amount is determined by the type of residential development project (Subdivision or Non-Subdivision) being developed. RAP shall collect these fees pursuant to LAMC Section 19.17 and the Park Fees Section of RAP's Rate and Fee Schedule. As of July 1, 2019, Residential Subdivision projects that are subject to the Subdivision fee shall pay:

$$\mathbf{\$12,998.00 \times \text{number of new non-exempt dwelling units}}$$

The maximum Park Fees payment for the Project's proposed 175 units would be:

$$\mathbf{\$2,274,650.00} = \$12,998.00 \times 175 \text{ dwelling units}$$

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As currently proposed, the Project has 173 dwelling units that would likely qualify for an exemption per LAMC Section 12.33 C.3. If those dwelling units are ultimately determined to be exempt, the **maximum** required Park Fee payment for the Project would be:

\$25,996.00 = \$12,998.00 x 2 dwelling units

The amount of Park Fees that are required to be paid is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per LAMC Section 12.33 E.3, any Park Fees collected by the City shall be expended within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

STAFF ANALYSIS AND RECOMMENDATION

In order for RAP staff to determine which mechanism, land dedication or payment of Park Fees, to recommend for the Board's review and approval, RAP staff analyzes each proposed development project, including its location, new population, surrounding parks, any nearby active or proposed park acquisition or park development project, existing park service radius gaps, etc. RAP staff also analyzes any parks, open spaces, or recreational areas anticipated to be provided by each proposed development project in order to determine if those facilities reduce the need for new public recreation and park facilities to serve the project residents.

One of the most critical factors that RAP staff uses to analyze proposed developments is existing park service radius gaps. Approximately 54% of residents in the City of Los Angeles live within a one-half mile, or a 10 minute walk, from a public park or open space. The Mayor's Office of Sustainability pLAN sets a goal of increasing the percentage of Angelenos living within a one-half mile from a park to 65% by 2025 and to 75% by 2035. RAP has employed a variety of strategies, such as the 50 Parks Initiative, that are intended to increase park access and meet these park access goals.

Site Analysis

The proposed Project is located within the Downtown Skid Row community of the City and within the Central City Community Plan Area. Currently, the Project site is a vacant food processing plant. The proposed Project is surrounded by industrial uses on all sides.

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An aerial view of the Project site is attached hereto (Attachment 3). A map showing the generalized zoning of the project site is also attached (Attachment 4).

The proposed Project is located in a high-density area of the City. Below is analysis of the density of the area within walking distance of the Project site and a comparison to both citywide density and local community density:

- Half-mile (½) walking distance of the Project site (EPADSS): 12,829 persons (22,119 persons per square mile)
- City of Los Angeles Population Density (2010 United States Census): 8,092 persons per square mile.
- Central City Community Plan Area (2017 American Community Survey): 11,424 persons per square mile

Project Open Space and Recreational Areas

As previously discussed, the proposed Project also includes approximately 9,129 SF of common open space, including two outdoor courtyards and a community room.

The amount of common open space being provided by the proposed Project does not appear to significantly exceed the amount of open space the proposed Project would otherwise be required to provide per LAMC Section 12.21 (or other planning documents, specific plans, etc.). Additionally, it does not appear that these open spaces will include the type and variety of active and passive recreational facilities and amenities that are typically found in the City's Neighborhood and Community Parks and that are needed to meet the needs of residents of all ages and abilities.

As currently proposed, these recreational amenities would likely not significantly reduce the Project's impact on existing public recreational and park facilities nor would they likely significantly reduce the need for new or expanded public recreational and park facilities to serve the Project's residents.

Public Park Access

There are three RAP-operated public parks within a half-mile walking distance from the Project site. A map showing the project location and nearby public parks is attached hereto (Attachment 5).

- The Arts District Park, located at 501 South Hewitt Street, is a 0.5-acre park that features a small plaza, amphitheater, play area, benches, picnic areas and landscaping.
- San Julian Park, located at 315 East 5th Street, is a 0.29-acre facility that provides an open lawn area, picnic tables and benches, and two shade structures.
- 6th & Gladys Street Park, located at 808 E. 6th Street, is a 0.34-acre facility that includes picnic tables, half-court basketball, and outdoor exercise equipment.

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As previously noted in this Report, a land dedication for a new public park could be located either on-site or off-site of the Project location. If a new public park was provided at the Project location the park would serve the new residents of the Project and would serve approximately **0** new, previously unserved, residents within a half-mile walking distance (Attachment 6). If a new public park was provided off-site of the Project location the park would serve the new residents of the Project as well as an unknown number of new, previously unserved, residents within a half-mile walking distance. If the proposed Project does elect to make some or all of its required land dedication off-site, staff would work with the Project to identify a site that would serve project residents, help close an existing park service area gap, and maximize, to the extent feasible, the number of new residents who would be within a half-mile walking distance of a public park.

Nearby Public Park Projects

There are two new public parks currently in development within a two-mile radius of the Project site.

- 1st and Broadway Park is a 1.96-acre park located at 217 West 1st Street in Council District 14. The current scope of the 1st and Broadway Park Development (PRJ20781) Project is the development of a new community park. The 1st and Broadway Park Development (PRJ20781) (PRJ21252) Project is currently in the bid and award stage. The 1st and Broadway Park Development (PRJ20781) (PRJ21252) Project is being led by the Bureau of Engineering (BOE). It is unknown when the 1st and Broadway Park Development (PRJ20781) (PRJ21252) Project will be completed. The current project budget for the 1st and Broadway Park Development (PRJ20781) (PRJ21252) Project is Twenty-Eight Million Dollars (\$28,000,000.00) and the current available funding is Nineteen Million, Eight Hundred Forty Thousand, Four Hundred Fourteen Dollars and Thirty-One Cents (\$19,840,414.31). The 1st and Broadway Park Development (PRJ20781) (PRJ21252) is not fully funded at this time.
- Alpine Recreation Center Expansion (Ord and Yale Street Park (PRJ20591) is a 0.85-acre park located at 817 Yale Street in Council District 1. The current scope of the Ord and Yale Street Park Project is the construction of a children's playground with equipment and climbing wall, the construction of a fitness zone with eight pieces of equipment, construction and entry plaza/performance space with small cafe and restroom building, construction of an upper viewing terrace with public art water feature, and the construction of a fitness trail on the Native Restoration Garden slope and through the Bamboo Grove. The Ord and Yale Street Park Project is currently under construction. The development of the Ord and Yale Street Park Project is being led by Department of Public Works, Bureau of Engineering (BOE) and is expected to be completed in August 2020. The Ord and Yale Street Park Project is fully funded at this time.

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There is one major park renovation projects currently in development within a two-mile radius of the Project site:

- Boyle Heights Sports Center, located at 933 South Mott Street, is an 8.51-acre facility featuring a variety of recreational amenities, including two baseball diamonds, outdoor basketball courts, a track field, multipurpose sports field, synthetic field, and community room. The Boyle Heights Sports Center Project proposes the development of a new 17,500-square-foot recreation center at the existing Boyle Heights Sports Center. The facility would consist of a full-sized basketball court, staff offices, equipment storage rooms, restrooms, showers, a community room, elevator, multi-purpose rooms (programming may consist of a dance studio, performing area, exercise/yoga, dance, and ballet), plaza for special gatherings, additional green space, pedestrian paths, and additional parking. The Boyle Heights Sports Center Project is being led by the Bureau of Engineering (BOE). This project has not started construction. The current project budget for the Boyle Heights Sports Center Project is \$28.2 Million Dollars. The Boyle Heights Sports Center Project is not fully funded at this time.

Staff Recommendation

The proposed Project is located in a high-density area of the City. The density of the surrounding area within walking distance of the Project site is higher than the average density of the City and is higher than the average density of the Community Plan Area in which the proposed Project is located.

The Project site is not located in an existing park service radius gap. There are three RAP-operated public parks within a half-mile walking distance from the Project.

There are two public parks currently in development within a two-mile radius of the Project site.

There is one park renovation project currently in development within a two (2) mile radius of the Project site.

If a new public park was provided at the Project location, the park would serve Project residents and 0 currently unserved residents within a half-mile walking distance.

As noted earlier in the Report, 173 of the 175 proposed residential units will likely qualify for the affordable housing exemption. Thus, a potential land dedication would be just 0.01 acres.

Therefore, RAP staff recommends that the appropriate mitigation measure for this proposed Project is the payment of in-lieu fees to the City.

FISCAL IMPACT

As it is not known at this time if the Advisory Agency will recommend the proposed Project dedicate park land to the City or to pay Park Fees, the potential Fiscal Impact to RAP's General Fund is unknown.

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STRATEGIC PLAN INITIATIVES AND GOALS

Approval of this Board Report advances RAP's Strategic Plan by supporting:

Goal No. 3: Create & Maintain World Class Parks and Facilities

Outcome No. 3: Increased park maintenance, with a focus on cleanliness.

Result: Collected fees will fund capital improvements at existing parks in the Project area.

This Report was prepared by Ligaya Khennavong, Management Assistant, Planning, Maintenance and Construction Branch.

LIST OF ATTACHMENTS

- 1) Conceptual Project Renderings
- 2) Advisory Agency Filing Notice
- 3) Aerial View of Project Site
- 4) Generalized Zoning
- 5) Project Location and Surrounding Parks
- 6) EPADSS Report

PROJECT 414 Crocker Apartments

An Affordable Housing Development
414 Crocker Street, Los Angeles, CA 90013

CLIENT
LITTLE TOKYO SERVICE CENTER
231 E Third Street, G-106, Los Angeles, CA 90013



The enclosed drawings, designs, plans and arrangements, as submitted with their clients and consultants, are and shall remain the property of FSY Architects. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project without the written consent of FSY Architects. Visual contact with these plans shall constitute conclusive evidence of these restrictions.

CONSTRUCTION NOTES:

PROJECT SUMMARY:

LEGAL DESCRIPTION

Site Address: 414-426 Crocker Street and 411-425 Towne Avenue 90013
 ZIP Code: 90013
 Lot/Parcel Area (Per ZIMAS): 35,787 sq ft
 Thomas Brothers Grid: 5147-209-427
 Assessor Parcel No. (APN): 5147-209-427
 Tract: Wolfe#1 Orchard Track M R 30-913
 Map Reference: 9
 Block: 20
 Lot: None
 Arb (Lot Out Reference): 127-54213
 Map Sheet: 62968
 VTTM:

PROJECT DESCRIPTION:

Expanded Project Description:
 The Development of a 100% affordable Mixed Use complex with 175 units of affordable housing and 8,891 sq ft of commercial over one level of subterranean parking providing a minimum of 19-parking stalls, and 125-bicycle stalls. General Plan Amendment from Light Manufacturing to Regional Commercial and Vesting Zone Change and Height District Change from M2-2D to C2-4D. This Project will utilize one (1) JLD Incentive to allow 1) 50% Open Space Reduction; Site Plan Review and Vesting Tentative Tract Map No. 82696; This Project is within the Greater Downtown Housing Incentive Area which allows for the following: all yard requirements are eliminated, buildable area is the same as Lot Area, Maximum number of dwelling units permitted shall not be limited by the lot area provisions as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units, No prescribed percentage of the required open space that must be provided as either common open space or private open space, and No more than one parking space shall be required for each dwelling unit.

General Plan Amendment changing the Land Use Designation from Light Manufacturing to Regional Commercial, LAMC Section 11.5.6

Vesting Zone Change and Height District Change from M2-2D to C2-4D, LAMC Section 12.302. The zone change request would include Developer Incentives for reduced open space.

Site Plan Review for a development with more than 50 dwelling units and/or a non-residential building in excess of 50,000 sq ft, LAMC Section 16.05

Vesting Tentative Tract Map for the subdivision of airspace into three lots pursuant to LAMC Section 17.01.

AFFORDABLE HOUSING UNITS = 175 UNITS
 UNIT MIX (STUDIO / 1BR / 2BR) = 86 / 80 / 29
 PROPOSED BUILDING HEIGHTS = 84'-8" / 7 STORIES
 PROPOSED BUILDING AREA = 178,333 SF
 PROPOSED BUILDING AREA (TOWARD F.A.R.) = 167,388 SF
 * PROVIDED GARAGE NOT COVERED TOWARD F.A.R. CALCULATION

ZONING ANALYSIS/DENSITY CALCULATIONS:

A. SITE ANALYSIS
 ZONING: = C2-4D
 LOT AREA (Per ZIMAS): = 35,787 SF

B. ZONING ANALYSIS (C2-4D ZONE)
 BUILDING HEIGHT (Allowed / Proposed) = Unlimited / 85'
 SETBACK REQUIREMENTS:
 - REQUIRED (Front / Side / Rear Yard) = 0' / 0' / 0'
 - PROVIDED (Front / Side / Rear Yard) = 0' / 0' / 15'
 * Per LAMC Section 12.30 "Greater Downtown Housing Incentive Area"

C. DENSITY CALCULATIONS (C2-4D ZONE)
 BASE DENSITY (M2-2D) (35,787 / 400) = 89 UNITS
 ALLOWABLE DENSITY = UNLIMITED *
 PROPOSED DENSITY = 175 UNITS
 * Per LAMC Section 12.03 "Greater Downtown Housing Incentive Area"

D. F.A.R. CALCULATIONS (C2-4D ZONE)
 BASE F.A.R.: = 3 : 1
 (D) Limitation Established by ORD 164,307
 ALLOWABLE F.A.R. (With Zone Change): = 6 : 1 *
 PROPOSED F.A.R.: = 4.7 : 1
 TOTAL AREA ALLOWED (35,787 SF x 6) = 214,602 SF
 TOTAL PROPOSED AREA = 167,388 SF
 * VESTING ZONE CHANGE FROM M2-2D TO C2-4D LAMC SECTION 12.302

PARKING SUMMARY (VEHICULAR):

REQUIRED (Residential): = 0 STALLS *
 REQUIRED (Commercial): (8,891 SF / 1,000 SF = 9) = 9 STALLS **
 REQUIRED (Manager Units): = 2 STALLS ***
 PROVIDED:
 STANDARD = 11 STALLS
 COMPACT = 3 STALLS
 TOTAL PROVIDED = 14 STALLS
 * Per LAMC Section 12.03 "Greater Downtown Housing Incentive Area" Bonus to allow non-parking required for all units less than 50% rent
 ** Per LAMC Section 12.215 (3) "On-street Parking District" 1 per 100 S.F. for Buildings 7,500 S.F. or More
 *** Per LAMC Section 12.03 "Greater Downtown Housing Incentive Area" Bonus to allow No more than one parking space shall be required for each dwelling unit.

PARKING SUMMARY (BICYCLE):

REQUIRED (Residential): = 26 STALLS
 1 Long-Term Stall / 1 Units (1-25) = 26 STALLS
 1 Long-Term Stall / 5 Units (26-100) = 50 STALLS
 1 Long-Term Stall / 2 Units (101-175) = 38 STALLS
 3 STALLS
 1 Short-Term Stall / 1 per 10 (1-25) = 3 STALLS
 5 STALLS
 1 Short-Term Stall / 1 per 15 (26-100) = 5 STALLS
 4 STALLS
 1 Short-Term Stall / 1 per 20 (101-175) = 4 STALLS
 TOTAL REQUIRED = 128 STALLS
 PROVIDED (Residential): = 113 STALLS
 LONG-TERM STALLS = 12 STALLS
 SHORT-TERM STALLS = 101 STALLS
 TOTAL PROVIDED = 113 STALLS

OPEN SPACE CALCULATIONS

REQUIRED (Residential):
 88 Studios @ 100 SF / UNIT = 8,800 SF
 89 1-Bedroom @ 100 SF / UNIT = 8,900 SF
 29 2-Bedroom @ 125 SF / UNIT = 3,625 SF
 TOTAL OPEN SPACE (Base) = 15,325 SF
 TOTAL OPEN SPACE (With 50% Reduction) = 8,113 SF *

PROVIDED:
 COMMUNITY SPACE = 2,270 SF **
 COVERED COURTYARD = 2,283 SF
 UNCOVERED COURTYARD = 4,567 SF
 TOTAL = 9,120 SF
 * Utilizing JLD Developer Incentive to Allow 50% Reduction
 Community Space Includes All Community Room and Residence Lounge on 2nd Floor.

UNIT SUMMARY

HOUSING (TYPE I-A)
 11 STUDIO @ 408 SF
 10 1-BED UNIT @ 503 SF
 4 2-BED UNIT @ 756 SF

HOUSING (TYPE II-A)
 75 STUDIO @ 408 SF
 50 1-BED UNIT @ 503 SF
 25 2-BED UNIT @ 756 SF

ACCESSIBLE UNIT COUNT

Unit Type	Count	MOBILITY UNITS	SENSORY UNITS
		Count	% Unit Type
ST	86	8	9%
1B	80	6	7%
2B	29	3	10%
TOTALS	175	17	10%

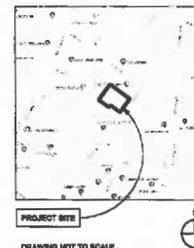
BUILDING AREA:

A. RESIDENTIAL (4-Story Type II-A Construction) = 113,728 SF
 RESIDENTIAL (18,326 X 5) = 91,630 SF
 CIRCULATION & SERVICE (4,824 + 4,326 X 4) = 22,128 SF

B. PODIUM (2-Story Type I-A Construction) = 45,655 SF
 RESIDENTIAL = 16,379 SF
 COMMUNITY (4,333 + 1,799) = 6,132 SF
 COMMERCIAL = 8,681 SF
 CIRCULATION & SERVICE (2,232 + 5,928) = 8,159 SF
 UN-ENCLOSED SPACE ON GROUND FLOOR = 7,301 SF

C. BASEMENT = 18,420 SF
 PARKING = 10,817 SF
 CIRCULATION & SERVICE = 7,603 SF

VICINITY MAP:



DRAWING NOT TO SCALE

DRAWING INDEX:

- ARCHITECTURAL**
- A1.00 PROJECT SUMMARY
 - A1.00 PROJECT SUMMARY, REAR
 - A2.00 SITE PLAN
 - A2.01 BASEMENT PLAN
 - A2.02 GROUND FLOOR PLAN
 - A2.04 THIRD FLOOR PLAN
 - A2.05 SECOND FLOOR PLAN
 - A2.06 FIFTH FLOOR PLAN
 - A2.07 SIXTH FLOOR PLAN
 - A2.08 SEVENTH FLOOR PLAN
 - A2.09 ROOF PLAN
 - A3.01 BUILDING SECTION
 - A4.01 BUILDING ELEVATION
 - A4.02 BUILDING SUBSECTION

UNDER SEPARATE PERMIT OR APPROVAL

THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72, DESIGN BUILT BY CONTRACTOR

PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD 510 (CBC 918.1)

FUTURE SOLAR PHOTOVOLTAIC SYSTEMS

FIRE SPRINKLER SYSTEMS PER NFPA 13 DESIGN, - BUILT BY CONTRACTOR

REQUIRED SUSTAINABLE BUILDING MEASURES:

1. OUTDOOR WATER CONSERVATION MEASURES INCLUDE:
 - USE NATIVE OR DROUGHT-TOLERANT PLANTS FOR A MINIMUM OF 75% OF LANDSCAPED AREA; PLANTS TO BE SELECTED FROM LOS ANGELES COUNTY'S DROUGHT-TOLERANT PLANT LIST, OR THE LOCAL JURISDICTION'S DROUGHT-TOLERANT PLANT LIST, IF REQUIRED TO DO SO BY THE LOCAL JURISDICTION.
 - LIMIT CONVENTIONAL GRASS/TURF TO 25% OF LANDSCAPED AREA - GROUP PLANTS WITH SIMILAR WATERING NEEDS (HYDROZONES).
 - INSTALL HIGH EFFICIENCY IRRIGATION SYSTEM WITH SMART IRRIGATION CONTROLS AT ALL LANDSCAPING.
2. ALL PROJECTS, AT MINIMUM, SHALL RECYCLE & REPAIR OR SALVAGE 70% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS.
 THE PROJECT SHALL PROVIDE AN EARLY-ACCESSIBLE RECYCLING AREA FOR TENANT USE THAT SERVES THE ENTIRE BUILDING.

FSY ARCHITECTS
 2803 HIXON AVE, 2ND FLOOR
 LOS ANGELES, CA 90008
 TEL: 323.395.4543
 WWW.FSYARCHITECTS.COM
 MAIL@FSYARCHITECTS.COM

PROJECT NAME:
 414 CROCKER STREET AFFORDABLE HOUSING
 PROJECT ADDRESS:
 414 Crocker Street, Los Angeles, CA 90013

CLIENT NAME:
 LITTLE TOKYO SERVICE CENTER
 CLIENT ADDRESS:
 3429 Wesley Street, Suite F, Culver City, CA 90232

DRAWING TITLE:
 PROJECT SUMMARY

PROJECT NUMBER	Project Number
NO.	DESCRIPTION
	DATE

NOT FOR CONSTRUCTION

Project Status

Date Issue Date

Drawn by Author

Checked by Checker

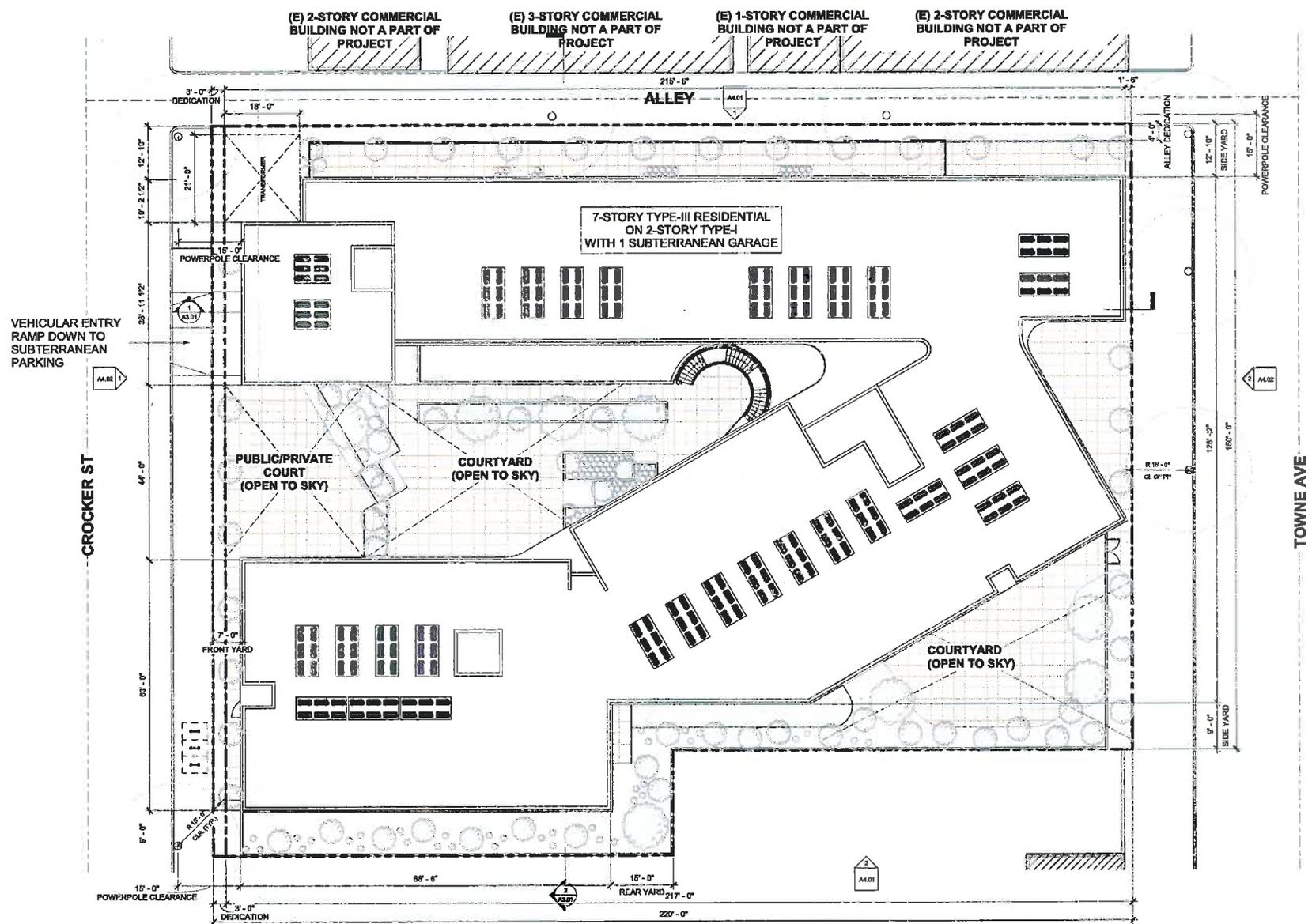
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Date

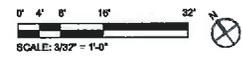
CS2027 - 414 Crocker Street 1 - Project0022 - Scheme: Design/414 Crocker St - 11/26/2024

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CONSTRUCTION NOTES:



① GROUND FLOOR PLAN
3/32" = 1'-0"



FSJ
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PROJECT NAME:
414 CROCKER STREET
AFFORDABLE HOUSING

PROJECT ADDRESS:
414 S Crocker Street,
Los Angeles, CA 90013

CLIENT NAME:
LITTLE TOKYO SERVICE CENTER

CLIENT ADDRESS:
3431 Wesley Street, Suite F
Culver City, CA 90232

DRAWING TITLE:
SITE PLAN

PROJECT NUMBER	Project Number	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

Project Status	
Date	Issue Date
Drawn by	Author
Checked by	Checker

Scale: 3/32" = 1'-0"

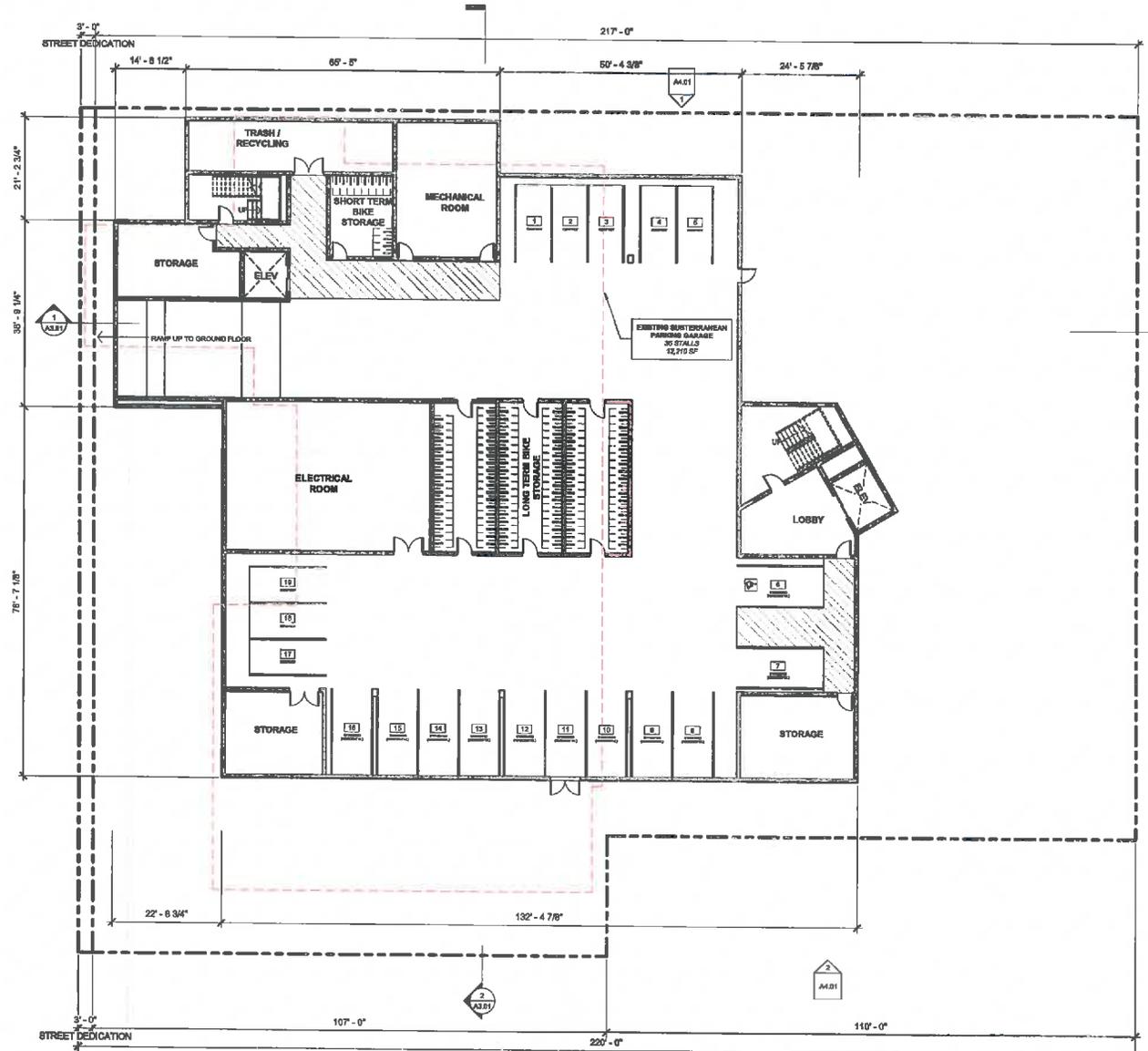
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Q11927 - 414 Crocker Street 01 - Production 02, Schematic Design/Phase 14 Crocker St - Environment Set, Inc.

12/20/2018 3:35:13 PM

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- CONSTRUCTION NOTES:**
1. LAWP PAD MOUNTED TRANSFORMER. CONTRACTOR TO PROVIDE CONCRETE AND CONNECTIONS TO LAWP TRANSFORMER VAULT AND THROUGHOUT PROPERTY LINE PER LAWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LAWP SERVICE PLAN).
 2. CONCRETE SLAB ON-GRADE
 3. STRUCTURAL COLUMN (SEE STRUCTURAL DRAWINGS)
 4. SOFTSCAPE LANDSCAPING / PLANTING (SEE LANDSCAPE DRAWINGS)
 5. DOUBLE STRIPING OF PARKING STALLS PER CITY OF LA BUILDING DEPARTMENT STANDARDS
 6. LONG-TERM WALL-MOUNTED BICYCLE STORAGE STALLS W/ DIMENSION COMPLIANT WITH BICYCLE PARKING ORDINANCE OF 12-1287-S1. STALLS ARE PROTECTED WITH WEATHERPROOF CLOSELY FIT DOORS PER PLAN, TYP.
 7. STOREFRONT ASSEMBLY (PARKADA - OFFSET DOUBLE GLAZING)
 8. ELECTRICAL EQUIPMENT
 9. EDGE OF BUILDING WALKWAY ABOVE
 10. WROUGHT IRON METAL FENCE (8'-0" TALL)
 11. ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS)
 12. EDGE OF OVERHEAD ENTRANCE CANOPY
 13. BUILDING SECURITY GATE ON TRACK
 14. CONCRETE BALLARDS (PER LAWP REQUIREMENTS)
 15. SHORT-TERM BIKE PARKING STALL, TYP.
 16. PROVIDE UPS APPROVED AC MALLBOXES FOR 75 UNITS INCLUDING REQUIRED PANEL STORAGE. CONTRACTOR TO VERIFY LOCATION AND TYPE WITH PORTMASTER PRIOR TO PURCHASE AND INSTALLATION.
 17. FINISH (SEE ELEVATIONS FOR ADDL. FINISH INFORMATION)



1 EXISTING BASEMENT PLAN
3/32" = 1'-0"

FSY ARCHITECTS
2002 KNOLL AVE, 2ND FLOOR
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2531 Western Street, Suite F
Culver City, CA 90232

DRAWING TITLE:
BASEMENT PLAN

PROJECT NUMBER: Project Number
NO. DESCRIPTION DATE

NOT FOR CONSTRUCTION
Project Status

Date Issue Date
Drawn by Author
Checked by Checker

A2.01

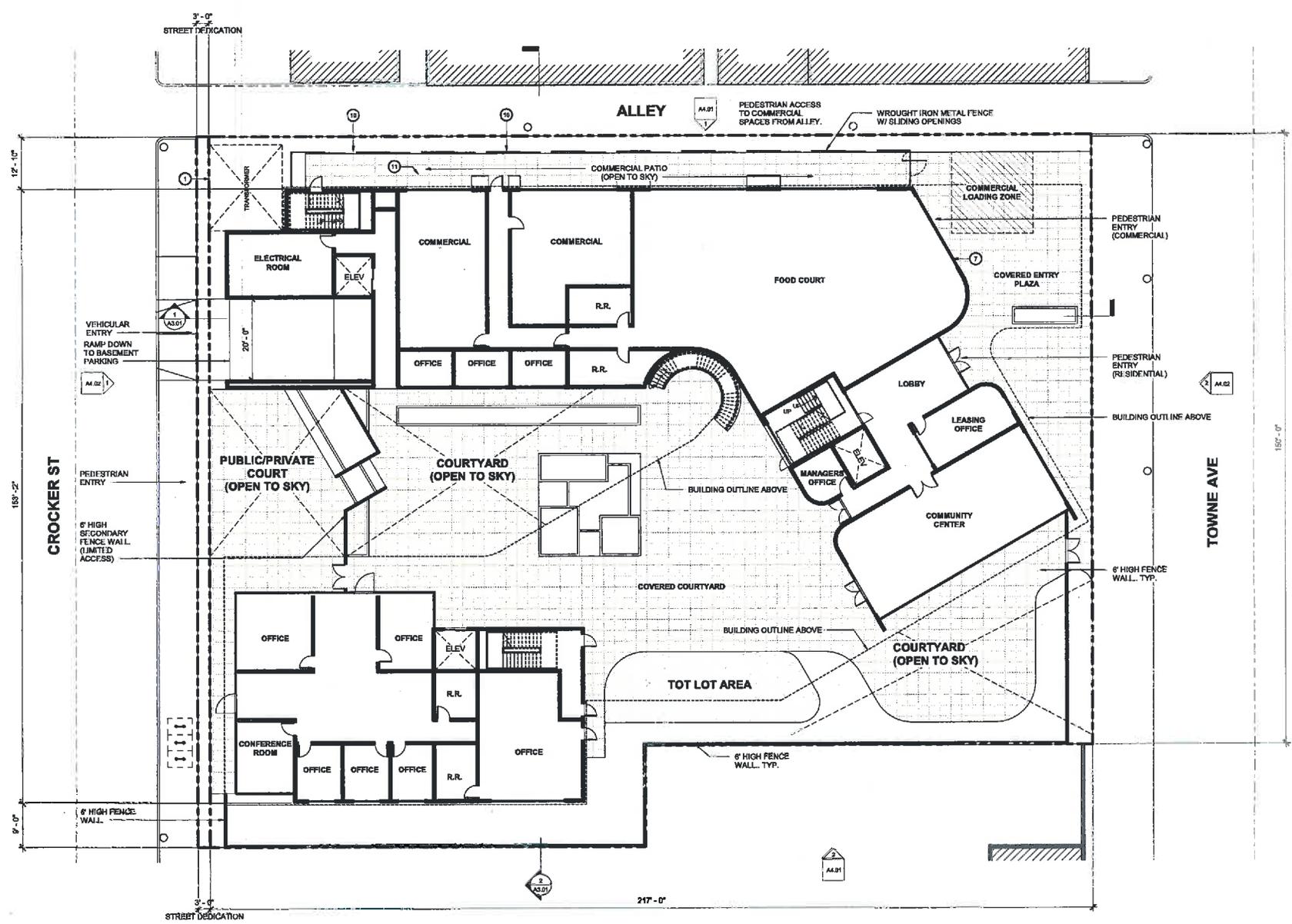
Scale 3/32" = 1'-0"

011127 - 414 Crocker Street 01 - Production 02 - Schematic Design 03 - 14 Crocker St - Enr/ward Set 14

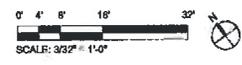
12/27/2018 10:28:08 AM

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- CONSTRUCTION NOTES:**
1. LADWP PAD MOUNTED TRANSFORMER CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LADWP TRANSFORMER VAULT AND THROUGH TO PROPERTY LINE PER LADWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LADWP SERVICE PLAN).
 2. CONCRETE ISLAND ON GRADE.
 3. STRUCTURAL COLUMN (SEE STRUCTURAL DRAWINGS).
 4. SOF TSURUPE LANDSCAPING / PLANTING (SEE LANDSCAPE DRAWINGS).
 5. DOUBLE STRIPING OF PARKING STALLS PER CITY OF LA BUILDING DEPARTMENT STANDARDS.
 6. LONG TERM WALL MOUNTED BICYCLE STORAGE STALLS W/ DIMENSIONS COMPLYING WITH BICYCLE PARKING ORDINANCE OF 18-107.01. STALLS ARE ENCLOSED WITH WEATHER-PROOF CLOSET W/ DOORS (E.V.K.A.M. TYP).
 7. STICKER FRONT ASSEMBLY (ARCANA - OFFSET DOUBLE GLAZING).
 8. ELECTRICAL EQUIPMENT.
 9. EDGE OF BUILDING WALKWAY ABOVE.
 10. WROUGHT IRON METAL FENCE (6'-0" TALL) W/ SLIDING OPENINGS.
 11. ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS).
 12. EDGE OF OVERHEAD ENTRANCE CANOPY.
 13. BUILDING SECURITY GATE ON TRACK.
 14. CONCRETE BOLLARDS (PER LADWP REQUIREMENTS).
 15. SHORT TERM BIKI PARKING STALL, TYP.
 16. PROVIDE USDP APPROVED #0 MAILBOXES 0 OR 76 UNITS INCLUDING REQUIRED PARCEL STORAGE). CONTRACTOR TO VERIFY LOCATION AND TYPE WITH POSTMASTER PRIOR TO PURCHASE AND INSTALLATION.
 17. VERIFY DIMS (SEE ELEVATIONS FOR ADXT. 1-FRESH INFORMATION).



1 GROUND FLOOR PLAN
3/32" = 1'-0"



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Culver City, CA 90230

DRAWING TITLE:
GROUND FLOOR PLAN

PROJECT NUMBER	Project Number	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION
Project Status

Date	Issue Date
Drawn by	Author
Checked by	Checker

A2.02

Scale 3/32" = 1'-0"

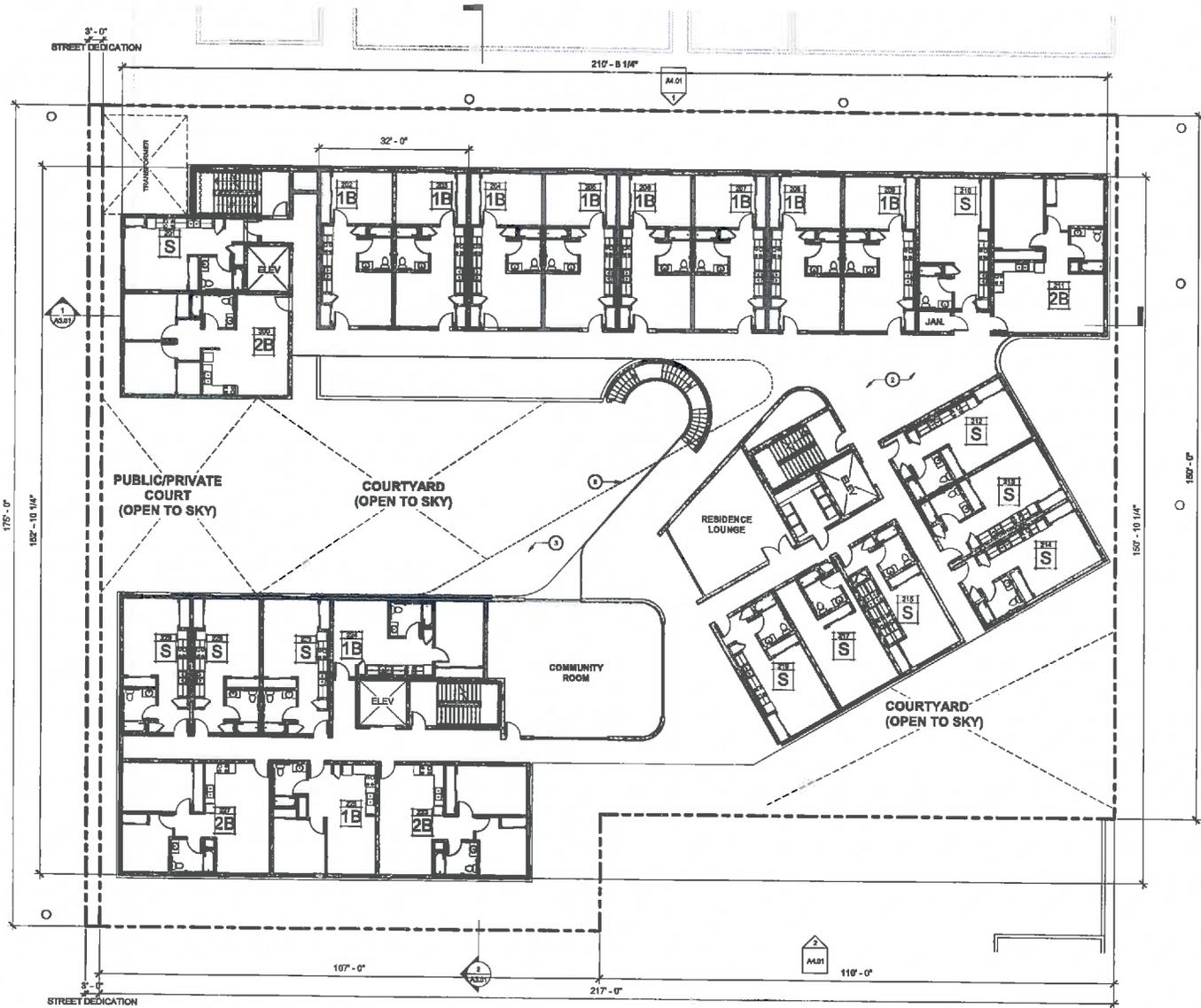
011807 | 414 Crocker Street | Production | Schematic Design | 01/14/2024

DATE PLOTTED: 1/15/24 10:58:41 AM

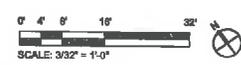
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CONSTRUCTION NOTES:

1. LADWP PAD MOUNTED TRANSFORMER. CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LADWP TRANSFORMER VAULT AND RETURN TO PROPERTY LINE PER LADWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LADWP SERVICE PLANS).
2. CONCRETE SLAB ON-GRADE
3. STRUCTURAL COLUMN (SEE STRUCTURAL DRAWINGS)
4. SOFTSCAPE LANDSCAPING / PLANTING (SEE LANDSCAPE DRAWINGS)
5. DOUBLE STRIPING OF PARKING STALLS PER CITY OF LOS ANGELES DEPARTMENT STANDARDS
6. LONG-TERM WALL-MOUNTED BICYCLE STORAGE STALLS W/ DIMENSIONS COMPLIANT WITH BICYCLE PARKING ORDINANCE OF 12-1207-01. STALLS ARE INCLUDED WITH WEATHERPROOF CLOSET W/ DOORS PER PLAN, TYP.
7. STOREFRONT ASSEMBLY (ARCADA - OFFSET DOUBLE GLAZING)
8. ELECTRICAL EQUIPMENT
9. EDGE OF BUILDING WALKWAY ABOVE
10. WROUGHT IRON METAL FENCE (8'-0" TALL)
11. ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS)
12. EDGE OF OVERHEAD ENTRANCE CANOPY
13. SLIDING SECURITY GATE ON TRACK
14. CONCRETE BOLLARDS PER LADWP REQUIREMENTS
15. 8'-0" X 12'-0" BING PARKING STALL, TYP.
16. PROVIDE USERS APPROVED AG MAILBOXES FOR 10 UNITS INCLUDING REQUIRED PARCEL STORAGE. CONTRACTOR TO VERIFY LOCATION AND TYPE WITH POSTMASTER PRIOR TO PURCHASE AND INSTALLATION.
17. FINISCO FINISH (SEE ELEVATIONS FOR ADDL. FINISH INFORMATION)



1 02 SECOND FLOOR
3/32" = 1'-0"



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CLIENT ADDRESS:
2431 Wilshire Blvd, Suite F
Culver City, CA 90232

DRAWING TITLE:
SECOND FLOOR PLAN

NO.	DESCRIPTION	Project Number	DATE

NOT FOR CONSTRUCTION

Date	Project Status	Issue Date

Drawn by: _____
Checked by: _____
Author: _____
Checker: _____

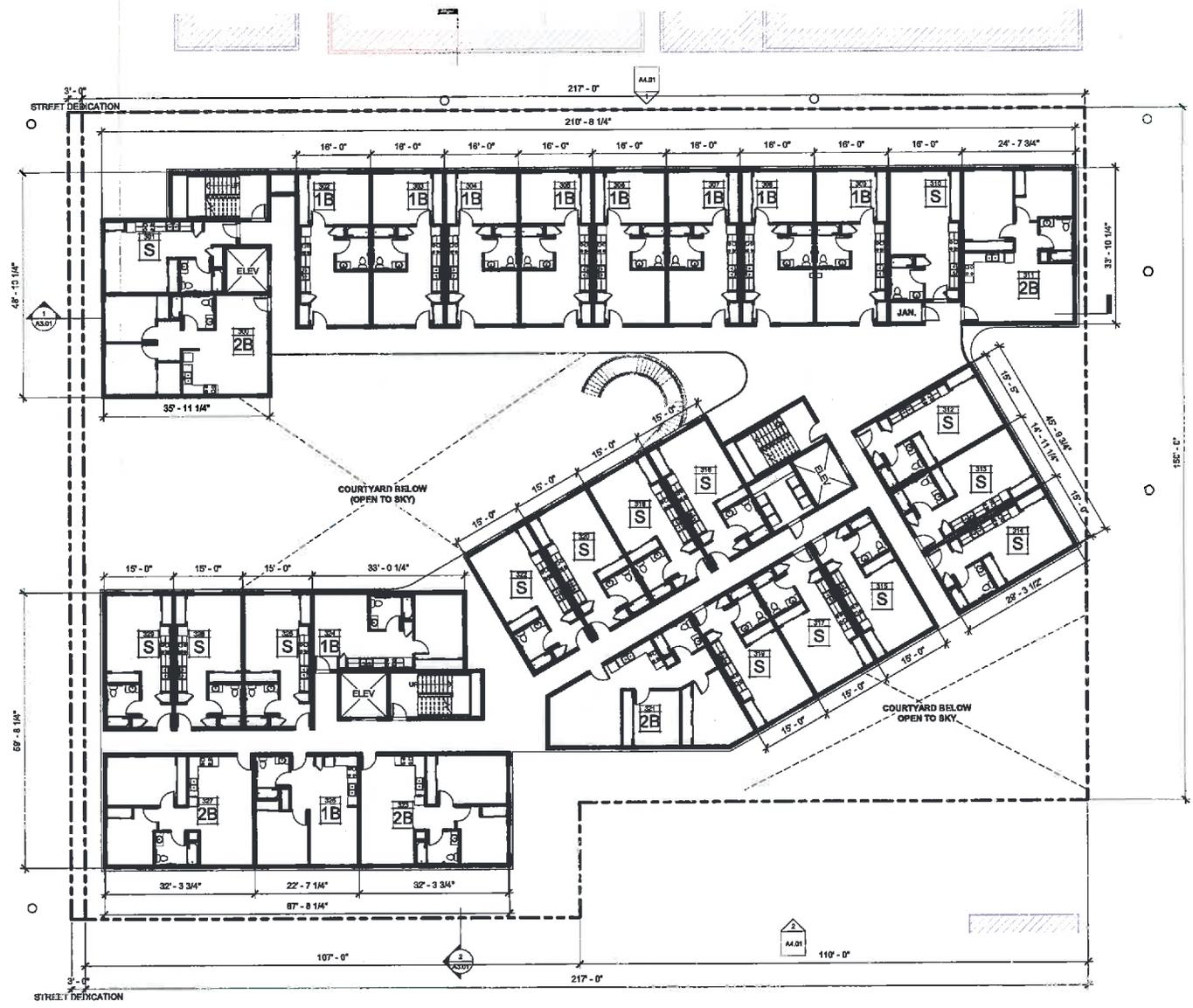
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Date: _____ 3/32" = 1'-0"
02/20/2018 SUBJECT PM

02/20/2018 - 414 Crocker Street Rev#001 - Production#02 - Rev#002 - Rev#003 - Rev#004 - Crocker St - Entrance Section

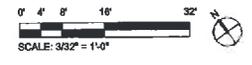
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CONSTRUCTION NOTES:

1. LANDSCAPE AND PLANTED TRANSFORMER CONDUITS TO PROVIDE CONDUIT AND CONNECTIONS TO LANDSCAPE TRANSFORMER VALVE AND THROUGH TO PROPERTY LINE PER LAWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LANDSCAPE SERVICE PLAN).
2. CONCRETE SLAB ON GRADE.
3. STRUCTURAL COLUMN (SEE STRUCTURAL DRAWINGS).
4. SOFTSCAPE LANDSCAPING / PLANTING (SEE LANDSCAPE DRAWINGS).
5. DOUBLE STRIPING OF PARKING STALLS PER CITY OF LA BUILDING DEPARTMENT STANDARDS.
6. LONG TERM WALL-MOUNTED BICYCLE STORAGE STALLS W/ DIMENSIONS CORRELATING WITH BICYCLE PARKING DIMENSION OF 13'-10 1/2". STALLS ARE ENCLOSED WITH WEATHERPROOF CLOSET W/ DOORS PER PLAN, TYP.
7. STOREFRONT ASSEMBLY (AWKAWA - GUEST COURSE GLAZING).
8. ELECTRICAL EQUIPMENT.
9. EDGE OF BUILDING WALKWAY ABOVE.
10. WROUGHT IRON METAL FENCE (6'-0" TALL).
11. ON GRADE PLANTERS (SEE LANDSCAPE DRAWINGS).
12. EDGE OF OVERHEAD ENTRANCE CANOPY.
13. BIKING SECURITY GATE ON TRACK.
14. CONCRETE HOLD LARS (PER LAWP REQUIREMENTS).
15. SHORT-TERM BIKE PARKING STALL, TYP.
16. PROVIDE USHS APPROVED 45 MAILBOXES (FOR 76 UNITS INCLUDING REQUIRED PARCELS STORAGE). CONTRACTOR TO VERIFY LOCATION AND TYPE WITH POSTMASTER PRIOR TO PURCHASE AND INSTALLATION.
17. STUCCO FINISH (SEE ELEVATIONS FOR ADDITIONAL INFORMATION).



① THIRD FLOOR PLAN
3/32" = 1'-0"



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PROJECT NAME:
414 CROCKER STREET
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414 S Crocker Street,
Los Angeles, CA 90013

CLIENT NAME:
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CLIENT ADDRESS:
2431 Wesley Street, Suite F
Culver City, CA 90230

DRAWING TITLE:
THIRD FLOOR PLAN

PROJECT NUMBER	Project Number	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

Project Status		Issue Date
Drawn by	Author	
Checked by	Checker	

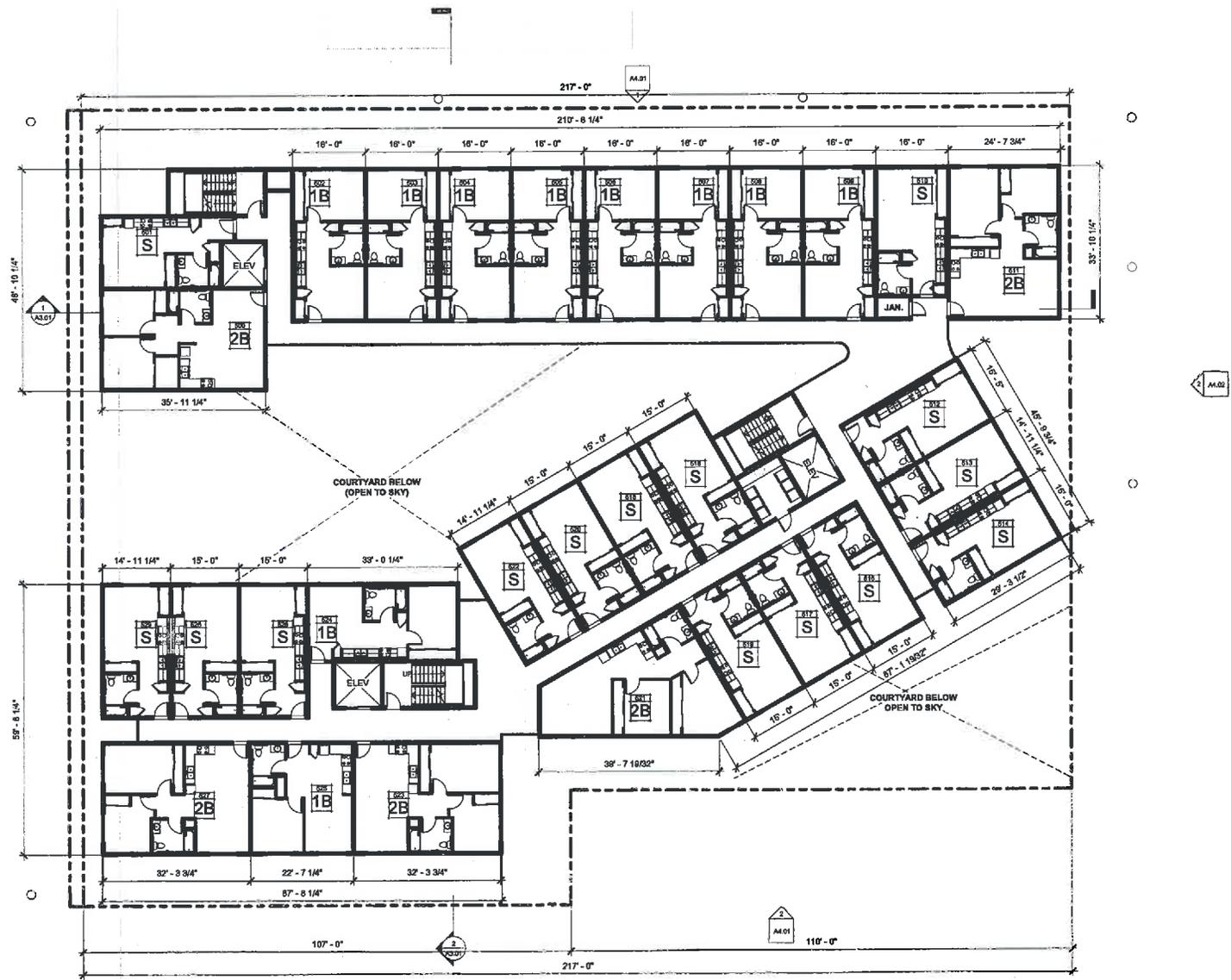
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Scale: 3/32" = 1'-0"
03127 - 414 Crocker Street - Production - 02 - 13/2023
Design: Rev: 04/14 Crocker St - 1st/2nd/3rd Flr

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CONSTRUCTION NOTES:

1. OWNER PROVIDED MOUNTED TRANSFORMER CONTRACTOR TO PROVIDE CONCRETE AND CONNECTIONS TO JUMP TRANSFORMER MOUNT AND THROUGH TO PROPERTY LINE PER LAZWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LAZWP SERVICE PLAN).
2. CONCRETE: 8L AN UN GRADE.
3. STRUCTURAL COLUMN (SEE STRUCTURAL DRAWINGS).
4. SOFTSCAPE LANDSCAPING / PLANTING (SEE LANDSCAPE DRAWINGS).
5. DOUBLE STRIPING OF PARKING STALLS PER CITY OF LA BUILDING DEPARTMENT STANDARDS.
6. LONG TERM WALL-MOUNTED BICYCLE STORAGE STALLS W/ DIMENSIONS COMPLY WITH BICYCLE PARKING ORDINANCE OF 12-1267 SI. STALLS ARE ENCLOSED WITH WEATHERPROOF COLLECT W/ DOORS PER PLAN, TYP.
7. STOREROOM ASSEMBLY (JACOBA - OBJECT DOUBLE GLAZING).
8. ELECTRICAL EQUIPMENT.
9. FLOOR OF BUILDING/ADJACENT ABOVE.
10. WINDOUST IRON METAL FENCE (8'-0" TALL).
11. ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS).
12. EDGE OF OVERHEAD ENTRANCE CANOPY.
13. SLIDING SECURITY GATE ON TRUCK.
14. CONCRETE BOLLARDS (PER LAZWP REQUIREMENTS).
15. SHORT-TERM BIKE PARKING STALL, TYP.
16. PROVIDE USFS APPROVED 4C MALLINOX® (FOR 78 UNITS INCLUDING REQUIRED "PINK" STORAGE). CONTRACTOR TO VERIFY LOCATION AND TYPE WITH POSTMASTER PRIOR TO PURCHASE AND INSTALLATION.
17. STUCCO FINISH (SEE ELEVATIONS FOR ADJL FINISH INFORMATION).



1 FIFTH FLOOR PLAN
3/32" = 1'-0"



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PROJECT NAME:
414 CROCKER STREET
AFFORDABLE HOUSING
PROJECT ADDRESS:
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CLIENT ADDRESS:
2431 Wesley Street, Suite F
Culver City, CA 90230

DRAWING TITLE:
FIFTH FLOOR PLAN

PROJECT NUMBER	Project Number
NO.	DESCRIPTION
	DATE

NOT FOR CONSTRUCTION

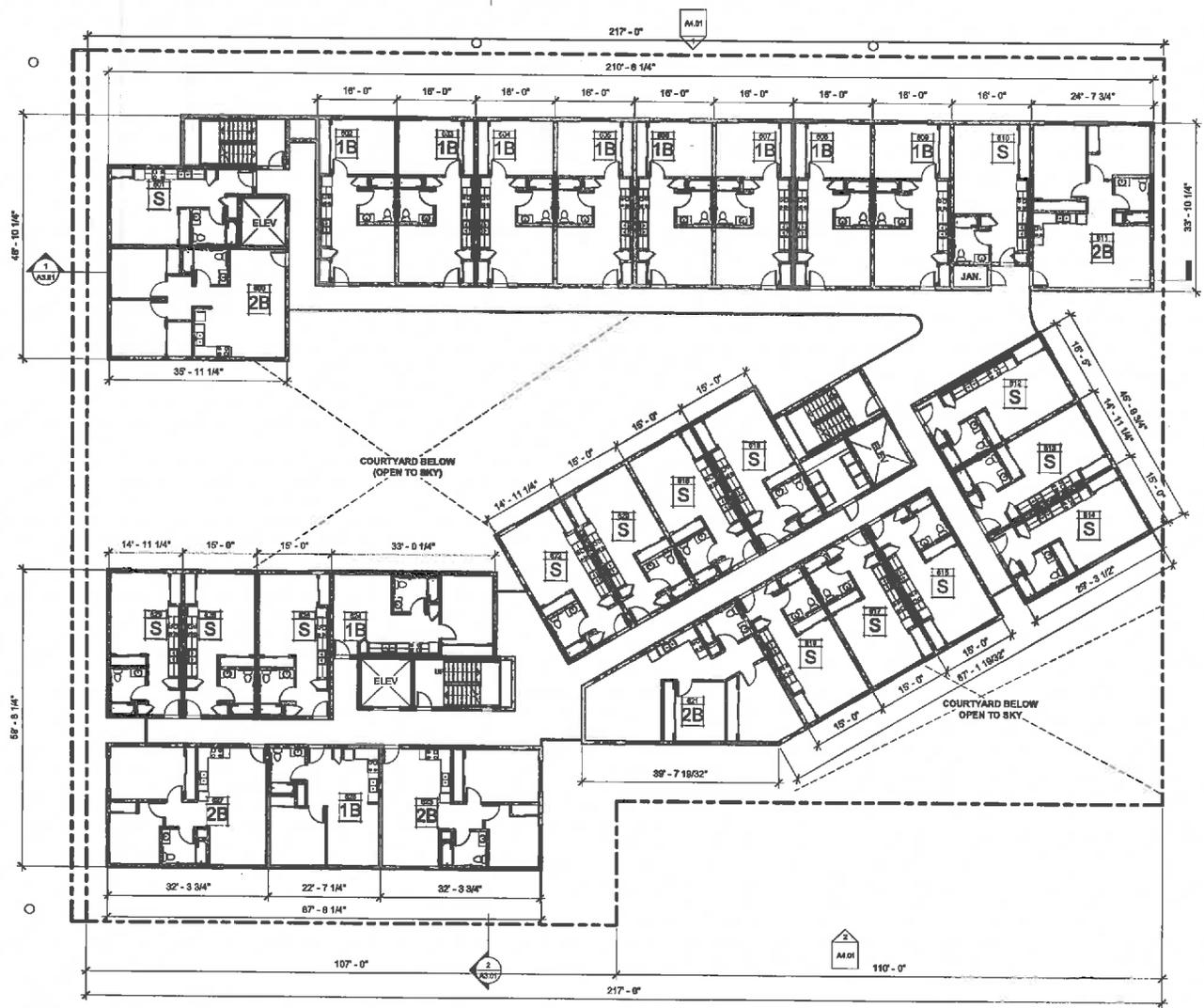
Project Status	
Date	Issue Date
Drawn by	Author
Checked by	Checker

A2.06

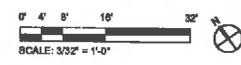
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Q11927 - 414 Crocker Street01 - Production02_Schematic
Design/RevM14 Crocker St - Enticement Detach

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- CONSTRUCTION NOTES:**
1. LAMPY AND MOUNTED TRANSFORMER, CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LAMPY TRANSFORMER VAULT AND THROUGH TO PROPERTY LINE PER LAMPY STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LAMPY SERVICE PLAN).
 2. CONCRETE SLAB ON-GRADE
 3. STRUCTURAL COLUMN (SEE STRUCTURAL DRAWINGS)
 4. SOFTSCAPE (LANDSCAPING) PLANTING (SEE LANDSCAPE DRAWINGS)
 5. DOUBLE STRIPING OF PARKING STALLS PER CITY OF LA BUILDING DEPARTMENT STANDARDS
 6. LONG-TERM WALL-MOUNTED BICYCLE STORAGE STALLS WITH DIMENSIONS COMPLYING WITH BICYCLE PARKING ORDINANCE OF 12-1287-SL. STALLS ARE ENCLOSED WITH WEATHERPROOF GLASS AND DOORS PER PLAN, TYP.
 7. STOREFRONT AREARPLY (PROVIDE - OBJECT DOUBLE GLAZING)
 8. ELECTRICAL EQUIPMENT
 9. EDGE OF BUILDING WALKWAY ABOVE
 10. WROUGHT IRON METAL FENCE (8'-0" TALL)
 11. ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS)
 12. EDGE OF OVERHEAD ENTRANCE CANOPY
 13. SLIDING SECURITY GATE ON TRACK
 14. CONCRETE ROLLANDS (PER LAMPY REQUIREMENTS)
 15. BRICK-TERM BRICE PARKING STALL, TYP.
 16. PROVIDE USPB APPROVED 40 MAILBOXES (FOR 26 UNITS INCLUDING REQUIRED PARCEL STORAGE). CONTRACTOR TO VERIFY LOCATION AND TYPE WITH POSTMASTER PRIOR TO PURCHASE AND INSTALLATION.
 17. STUCCO FINISH (SEE ELEVATIONS FOR ADDL. FINISH INFORMATION)



① SIXTH FLOOR PLAN
3/32" = 1'-0"



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PROJECT NAME:
414 CROCKER STREET AFFORDABLE HOUSING
PROJECT ADDRESS:
414 B Crocker Street
Los Angeles, CA 90013

CLIENT NAME:
LITTLE TOKYO SERVICE CENTER
CLIENT ADDRESS:
4301 Wilshire Blvd, Suite P
Olive View, CA 90232

DRAWING TITLE:
SIXTH FLOOR PLAN

NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

Date	Project Status	Issue Date
Drawn by		
Checked by		

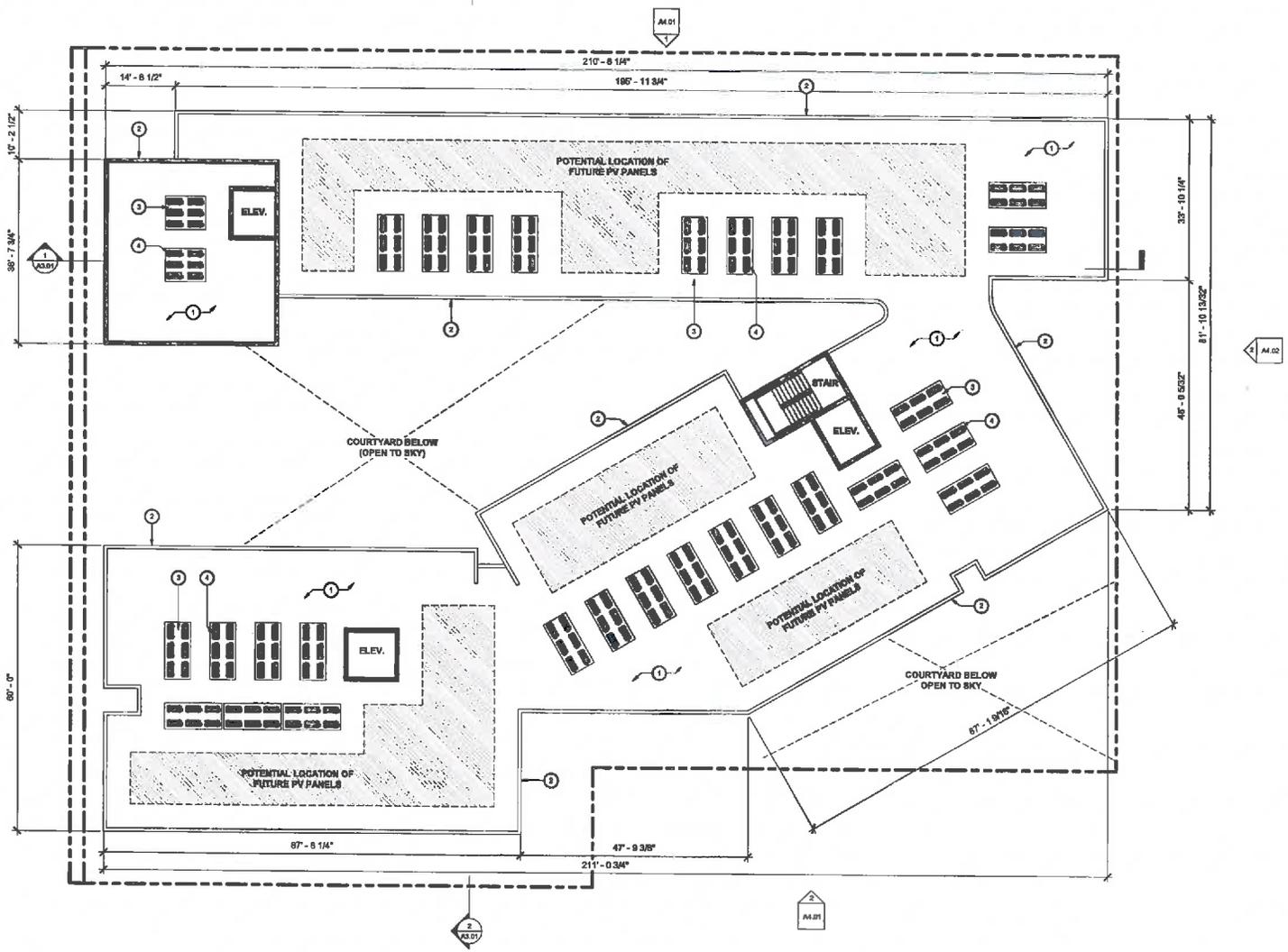
A2.07

Scale: 3/32" = 1'-0"
011927 - 414 Crocker Street 01 - Production 02 - Schedule
Design: FAMILIAR Crocker St - Urbanism Sat. 1/1

12/20/2016 2:52:27 PM

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- CONSTRUCTION NOTES:**
1. DUAL SINK FIRESTORM UL TRIM-Y WHITE OR EQUAL CLASS 1K SINGLE PLY DUAL ROOF OVER 1/4" DENSE DEDS FROM SHEATHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TYPICAL PROVIDE PENETRATION FLASHING AND TPO COATED SHEET METAL FLASHING PER MANUFACTURER RECOMMENDATIONS. MINIMUM 78 SFD (200 AS) REFLECTANCE INDEX CONTRACTOR TO PROVIDE MINIMUM 85 YEAR HDL WARRANTY. DCS ESR 2831 REFER TO CUT SHEET 872-293-012, 785 2001 ON A10.01 FOR TECHNICAL INFORMATION.
 2. PARAPET WALL.
 3. MECHANICAL PLUMBING EQUIPMENT PAD MIN 6" A.F.F. NEAREST ADJACENT ROOF FINISH ELEVATION OR PER MANUFACTURER RECOMMENDATIONS.
 4. MECHANICAL CONDENSER UNITS.
 5. SOLAR PANELS / SOLAR ZONE.



fsj
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PROJECT NAME:
414 CROCKER STREET
AFFORDABLE HOUSING

PROJECT ADDRESS:
414 Crocker Street
Los Angeles, CA 90015

CLIENT NAME:
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CLIENT ADDRESS:
3421 Wilshire Street, Suite F
Oculer City, CA 90232

DRAWING TITLE:
ROOF PLAN

PROJECT NUMBER	Project Number	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

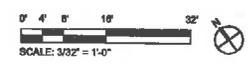
Date	Project Status	Issue Date
Drawn by		Author
Checked by		Checker

A2.09

Scale 3/32" = 1'-0"

011807 - 414 Crocker Street01 - Production02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

1 ROOF PLAN
3/32" = 1'-0"



12/28/2016 2:08:58 PM



① LONGITUDINAL SECTION
3/32" = 1'-0"



② TRANSVERSE SECTION
3/32" = 1'-0"

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CONSTRUCTION NOTES:

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PROJECT NAME:
414 CROCKER STREET
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CLIENT NAME:
LITTLE TOKYO SERVICE CENTER

CLIENT ADDRESS:
3431 Wasley Street, Suite F
Culver City, CA 90230

DRAWING TITLE:
BUILDING SECTION

PROJECT NUMBER	Project Number	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

Project Status

Date Issue Date

Drawn by Author

Checked by Checker

A3.01

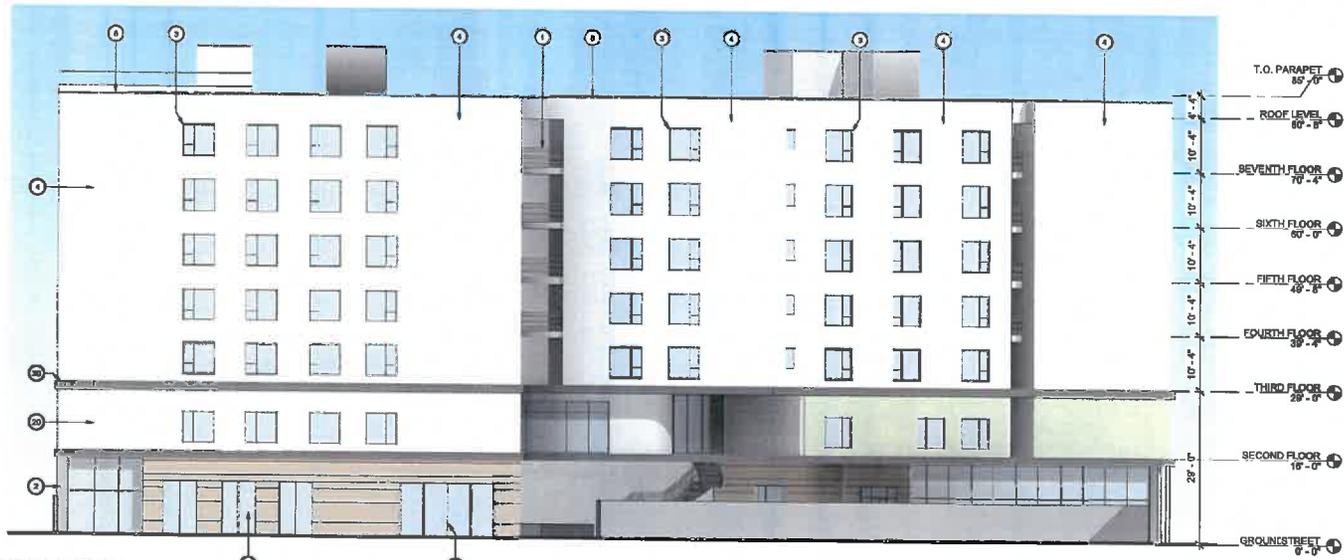
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C:\1827-414 Crocker Street\01 - Production\02_Schematics
Design\014 Crocker St - Entitlement Set.dwg

1/20/2013 3:46:57 PM



1 NE ELEVATION
3/32" = 1'-0"



2 SW ELEVATION
3/32" = 1'-0"

The enclosed drawings, designs, ideas and arrangements, as constructed with their clients and consultants, are and shall remain the property of FSY Architects. No part thereof shall be copied, altered or others, or used in connection with any other work or project without the written consent of the above. Verbal contact with these people shall constitute conclusive evidence of this restriction.

- CONSTRUCTION NOTES:**
1. 42" TALL METAL PICKET GUARDRAIL
 2. STRUCTURAL COLUMN
 3. VINYL WINDOW W/ ALUMINUM FINISH
 4. STUCCO FINISH (LA HABRA - COLOR VALUES)
 5. STUCCO CONTROL JOINT
 6. STOREFRONT ASSEMBLY (FRONCON - OFFSET DOUBLE GLAZING)
 7. STOREFRONT DOOR ASSEMBLY (FRONCON - OFFSET DOUBLE GLAZING)
 8. BRIST METAL COPING (COLOR MATCHED TO STUCCO)
 9. PERIMETER FENCE
 10. STRUCTURAL BEAM
 11. CURTAIN WALL
 12. METAL AWNING
 13. 4" CONCRETE FLOOR SLAB
 14. WOOD CLADDING
 15. UTILITY POLE

FSY ARCHITECTS
280 WOOD AVE. 2ND FLOOR
LOS ANGELES, CA 90039
TEL : 323.265.4343
WWW.FSYARCHITECTS.COM
MAIL@FSYARCHITECTS.COM

PROJECT NAME:
414 CROCKER STREET
AFFORDABLE HOUSING
PROJECT ADDRESS:
414 S Crocker Street,
Los Angeles, CA 90015

CLIENT NAME:
LITTLE TOKYO SERVICE CENTER
CLIENT ADDRESS:
3491 Wilshire Blvd, Suite F
Culver City, CA 90232

DRAWING TITLE:
BUILDING ELEVATION

PROJECT NUMBER	Project Number	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION
Project Status

Date	Issue Date
Drawn by	Author
Checked by	Checker

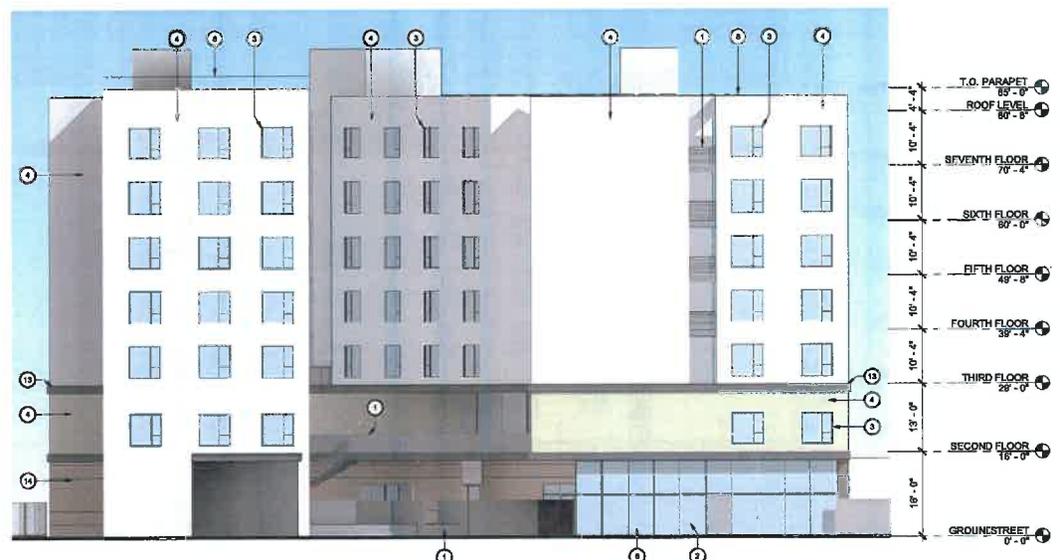
A4.01

Scale 3/32" = 1'-0"
031027 - 414 Crocker Street01 - Puckler0102 - Schematic
Design0414 Crocker St - Enrollment Set.rvt

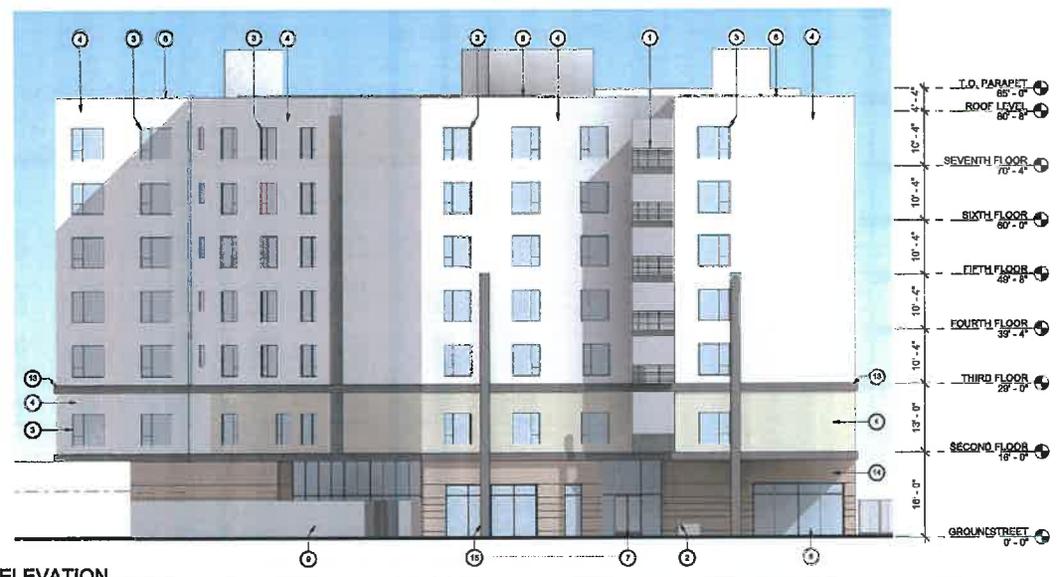
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- CONSTRUCTION NO. IS:**
1. 42" TALL METAL PICKET GUARDRAIL
 2. STRUCTURAL COLUMN
 3. VINYL WINDOW W/ ALUMINUM FINISH
 4. STUCCO FINISH (LA HABRA - COLOR VARIES)
 5. STUCCO CONTROL JOINT
 6. STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
 7. STOREFRONT DOOR ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
 8. SHEET METAL COPING (GON OR MATCHED TO STUCCO)
 9. PERIMETER FENCE
 10. STRUCTURAL BEAM
 11. CURTAIN WALL
 12. METAL FINISH
 13. 18" CONCRETE FLOOR SLAB
 14. WOOD CLADDING
 15. UTILITY POLE



① NW ELEVATION
3/32" = 1'-0"



② SE ELEVATION
3/32" = 1'-0"

FSF ARCHITECTS
2852 INOX AVE, 2ND FLOOR
LOS ANGELES, CA 90008
TEL : 323.256.6343
WWW.FSFARCHITECTS.COM
MAIL@FSFARCHITECTS.COM

PROJECT NAME:
414 CROCKER STREET
AFFORDABLE HOUSING
PROJECT ADDRESS:
414 S Crocker Place,
Los Angeles, CA 90013

CLIENT NAME:
LITTLE TOKYO SERVICE CENTER
CLIENT ADDRESS:
3431 Wasley Place, Suite F
Culver City, CA 90230

DRAWING TITLE:
BUILDING ELEVATION

PROJECT NUMBER	Project Number

NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

Project Status	
Date	Issue Date
Drawn by	Author
Checked by	Checker

A4.02

Scale 3/32" = 1'-0"

D:\11827 - 414 Crocker Street\01 - Production\02 - Schedules
Design\Rev\014 Crocker R4 - 6/16/2016.dwg

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Cupressus s. 'Glauca' / Italian Cypress
 Dracaena draca / Dragon Tree
 Salix purpurea / Australian Willow
 Laurus nobilis / Sweet Bay
 Lyonothamnus floribundus / Catalina Treewood
 Schinus molle / Cal. Pepper Tree



Agave attenuata 'Variegata' / Cast Iron Plant
 Aspidistra elatior / Cast Iron Plant
 Carex divisa / Berkeley Sedge
 Chondropetalum alphonse-lemoinei / Large Cape Rush
 Cordyline s. 'Red Star' / Red Star
 Dietes bicolor / Funtaria Lily
 Lantana l. 'Platinum Beauty' / Dwarf Star Bush
 Myrica communis 'Compacta' / Myrica
 Xylocarpus congestus compacta / Myrica
 Dianella r. 'Little Red' / Plant Lily

TREE LEGEND

SYMB.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Cupressus s. 'Glauca'	Italian Cypress	15-gal	11		low 0.3
⊙	Dracaena draca	Dragon Tree	15-gal	6		low 0.3
⊙	Salix purpurea	Australian Willow	24"box	4		low 0.3
⊙	Laurus nobilis	Sweet Bay	15-gal	7		low 0.3
⊙	Lyonothamnus floribundus	Catalina Treewood	15-gal	15		low 0.3
⊙	Schinus molle	Cal. Pepper Tree	24"box	2		low 0.3
⊙	Street tree	Per City req.	15-gal	7		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYMB.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	Agave attenuata 'Variegata'	Cast Iron Plant	5-gal	15		low 0.3
⊙	Aspidistra elatior	Cast Iron Plant	5-gal	57		low 0.3
⊙	Carex divisa	Berkeley Sedge	5-gal	69		low 0.3
⊙	Chondropetalum alphonse-lemoinei	Large Cape Rush	5-gal	23		low 0.3
⊙	Cordyline s. 'Red Star'	Red Star	5-gal	7		low 0.3
⊙	Dianella r. 'Little Red'	Plant Lily	5-gal	24		low 0.3
⊙	Dietes bicolor	Funtaria Lily	5-gal	19		low 0.3
⊙	Lantana l. 'Platinum Beauty'	Dwarf Star Bush	5-gal	73		low 0.3
⊙	Myrica communis 'Compacta'	Myrica	5-gal	6		low 0.3
⊙	Xylocarpus congestus compacta	Myrica	5-gal	6		low 0.3

* Points claimed for low water

All trees to be planted with commercial root barriers. 3" deep shredded Cedar bark to spread between plants.

NOTE:

All groundcover areas where plants are 3' or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to minimize weed growth.

NOTE:

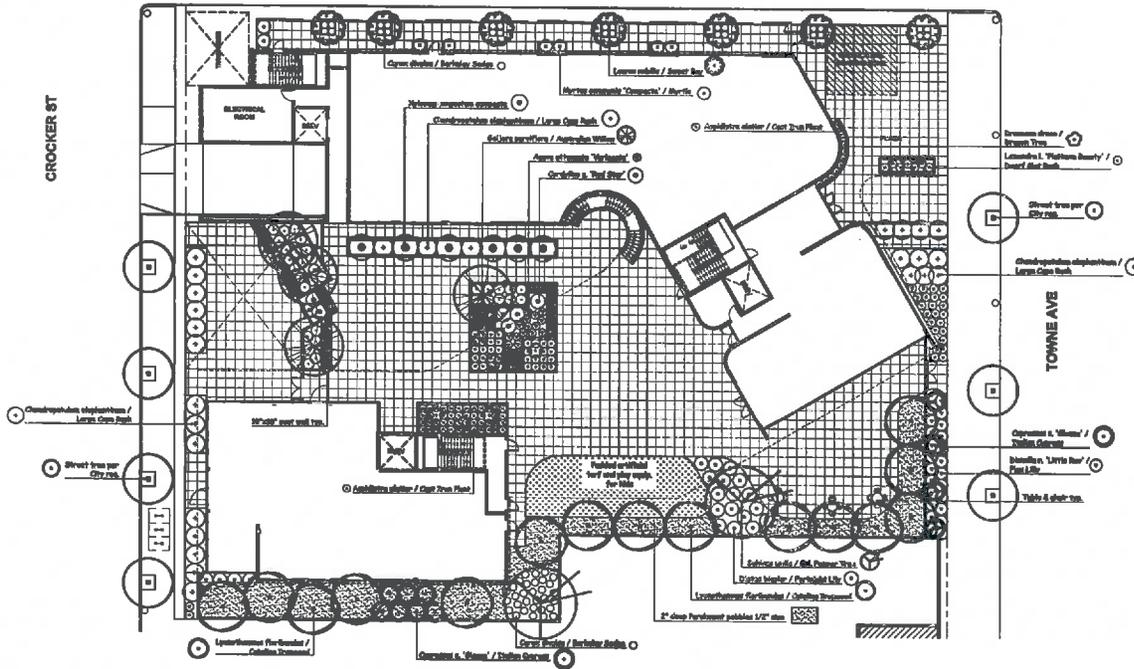
Waterproofing and drains in planters by others.

PLANTING NOTES

- SHRUBBER OR SHIPMENT CONTRACTOR TO VERIFY ALL LOCATIONS AND COORDINATES ON S.W. CORNER OF BLDG. BEFORE ORDERING.
- CONTRACTOR TO RESPECT ALL EXISTING CONDITIONS ON SITS AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMOVED OR SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO REMOVAL ALL PLANT MATERIAL FOR 60 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROOT-TEL AMENDMENTS TO A DEPTH OF 6"
 - 100 LBS. BRO-PPOWER
 - 75 CU YDS BRO-PPOWER, MINERALIZED PER BANK
 - 1000 LBS OF BRO-POWER CONTROLLED RELEASE: 30-8-8 PER CU YD OF MIX.
- PLANT HOLE TO BE THREE AS WIDE AND DEEP AS THE PLANT ROOT BALL. MINORAL. BRO-POWER TO BE 10 LBS. OF BRO-POWER PER BANK, AS DEFINED IN RL. PROVIDE BRO-PPOWER PLANT TABLETS AT THE FOLLOWING RATES:

5-6"	6-8"
37"max	16-18"

 PLACE INTERMEDIATE TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO MORE THAN 90% OF THE WAY UP TO THE TOP OF THE ROOT BALL. BRICK TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TOP. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAN / PROMETRYL) APPLY PER MANUFACTURER'S INSTRUCTIONS. (A) IMMEDIATELY AFTER PLANTING. (B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND (C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S SPECIFICATIONS AND SPECIFICATIONS DRESSING NOTED OTHERWISE IN THESE NOTES OR ON THE PLAN.
- SOIL SAMPLES FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.
- USE OF CLAMS OR OTHER SODIFICATION PRODUCTS UNDER CITY ORDINANCE MATERIALS (FORMS) IS A MAJORITY OF LANDSCAPED AREA.



REVISIONS	DATE
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	

Yael
 ASLA
 Yael Ur Landscape Architects
 1010 Sycamore Ave. Suite 313
 South Pasadena, CA 91030
 Tel 323.258.5222
 Fax 323.258.5333
 yael@yaelir.com

176 UNIT APARTMENT
 414 CROCKER ST.
 LOS ANGELES, CA 90013

PLANTING PLAN



DATE: DEC. 16, 2019
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 215019
 DRAWN BY:

VESTING TENTATIVE TRACT MAP No. 82988

AIRSPACE LOT CONFIGURATIONS

kpff

THE KPMF GROUP, INC.
12000 WILSON BLVD., SUITE 100
LOS ANGELES, CA 90025
(310) 473-1881

OWNER:

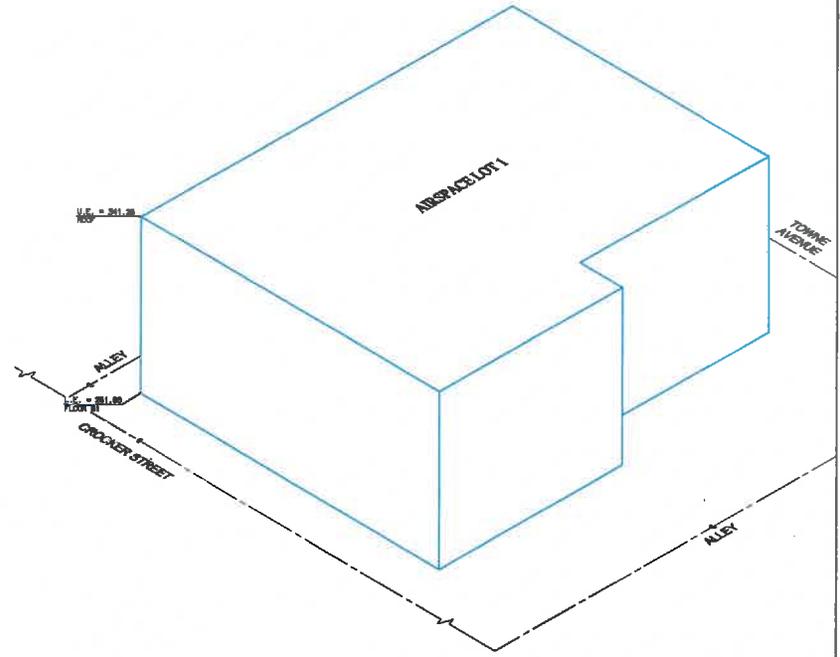
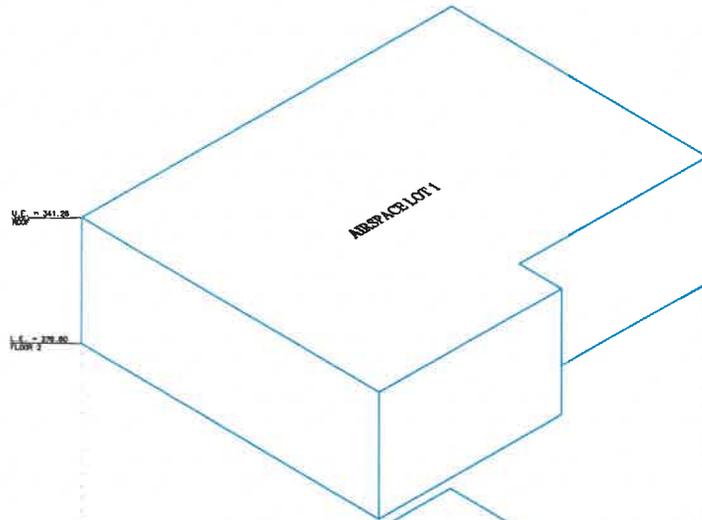
CROCKER APARTMENTS L.P.
414 CROCKER ST
LOS ANGELES, CA 90013
ATTN: DEBRA CHOI
(310) 473-1881

BLINDWORK:

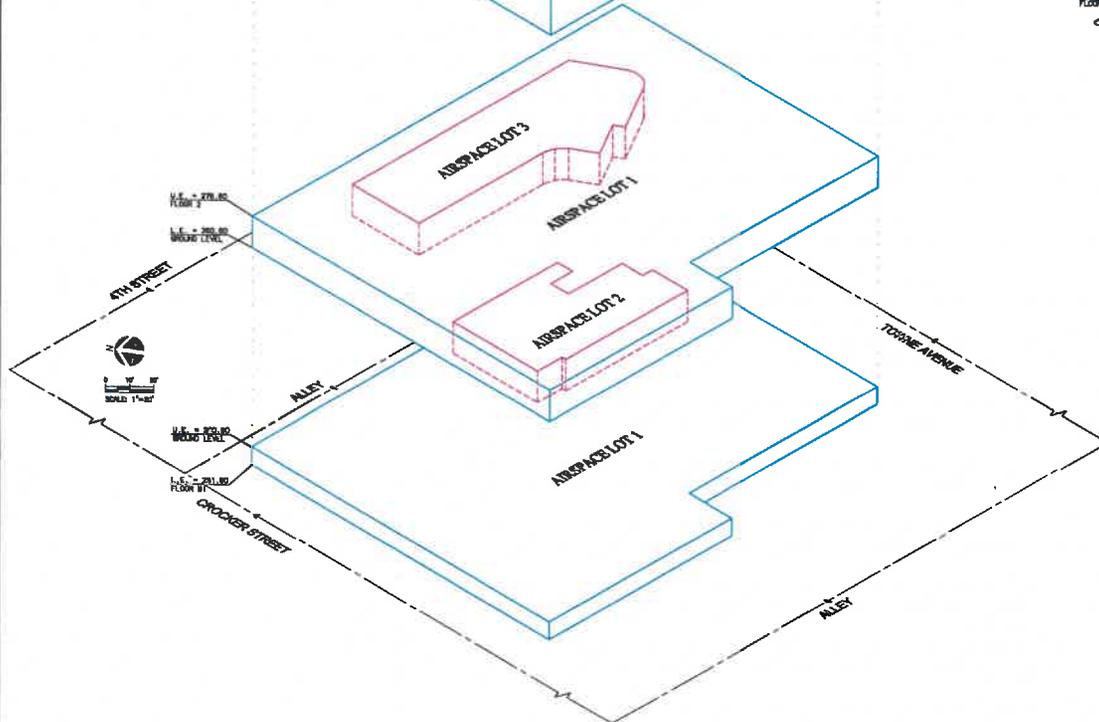
LITTLE TOKYO SERVICE CENTER
331 WEST THIRD STREET, SUITE 6-108
LOS ANGELES, CA 90013
ATTN: DENISE COOK
(310) 473-1881

ARCHITECT:

HFF CONSULTING ENGINEERS, INC.
700 S. FLORISS STREET, SUITE 2100
LOS ANGELES, CA 90017
CONTACT: BEAU BAKER, PLS
(310) 418-9001



OVERALL VIEW



FLOOR VIEWS

NOTE

AIRSPACE LOT 1 SHOWN AS SHIPMENT ON THIS PLAN FOR LEGAL PURPOSES ONLY.
ALL AIRSPACE LOTS ARE SHOWN AS LOT 1 OR 2 UNLESS OTHERWISE NOTED.

LEGENDS/LINETYPES

- AIRSPACE LOT (1)
- AIRSPACE LOT (2 & 3)
- CENTERLINE

ABBREVIATION

- L.E. LOWER ELEVATION
- U.E. UPPER ELEVATION

REVISIONS

DATE	ISSUED FOR

DATE: 12/14/2018

PROJECT NUMBER: 1802813

OWNER BY: HIL

CREATED BY: BR

SCALE: AS SHOWN

PROJECT LOCATION:

414 CROCKER STREET

LOS ANGELES, CA 90013

TRACT MAP NO. 82988

SHEET NUMBER:

DEPARTMENT OF
CITY PLANNING
COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

VAHID KHORSAND
VICE-PRESIDENT

DAVID H. J. AMBROZ
CAROLINE CHOE
HELEN LEUNG

KAREN MACK
MARC MITCHELL
VERONICA PADILLA-CAMPOS
DANA M. PERLMAN

CITY OF LOS ANGELES
CALIFORNIA



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES
200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

TRICIA KEANE
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

PRIORITY HOUSING PROJECT

Filing Notification and Distribution

Tract Map No. VTT-82988-HCA & CPC-2020-87-GPAJ-ZCJ-SPR-HCA

Tract Map Date: January 07, 2020

Property Address: 412-426 Crocker St & 411-425

Twone Ave.

Community Plan: Central City

COUNCIL DISTRICT NO. 14

Neighborhood Council District:

Downtown Los Angeles

Bureau of Engineering

Dept. of Building and Safety - *Grading*

Dept. of Building and Safety – *Zoning*

Dept. of Transportation

DWP Real Estate

DWP Water Distribution Engineering

Dept. of Fire, Engineering and Hydrant Unit

Bureau of Street Lighting

Animal Regulation (Hillside-ONLY)

Department of Recreation and Parks

Distribution Date: January 15, 2020

Case Filing Date: January 07, 2020

Hillside Yes No

Bureau of Sanitation

St. Services / Investigation & Enforcement-(haul routes - email ONLY: bss.haulroute@lacity.org)

Urban Forestry / Land Development Section

Housing Department (No P.S.)

Board of Education/Environmental Health & Safety (No P.S.)

Board of Education/Transportation (No P.S.)

County Health Department (No P.S.)

GIS (Final Map & LOD)

DATE DUE: UPON RECEIPT

Please send your reports to the following e-mail address: hagu.soloman-cary@lacity.org and maria.reves@lacity.org. Thank you.

Pursuant to Sections 17.50 through 17.60 of the Los Angeles Municipal Code, the attached tentative tract map is submitted for your consideration. The Advisory Agency will await your report and recommendation regarding the above matter for 39 days. If we have not received a written report from you after 40 days from the date of filing, we will assume that you have no report to make.

VINCENT P. BERTONI, AICP
Advisory Agency

Kevin Golden
Deputy Advisory Agency
200 N. Spring Street, Room 621



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM



Aerial View of the Project Site



LEGEND

City Limits

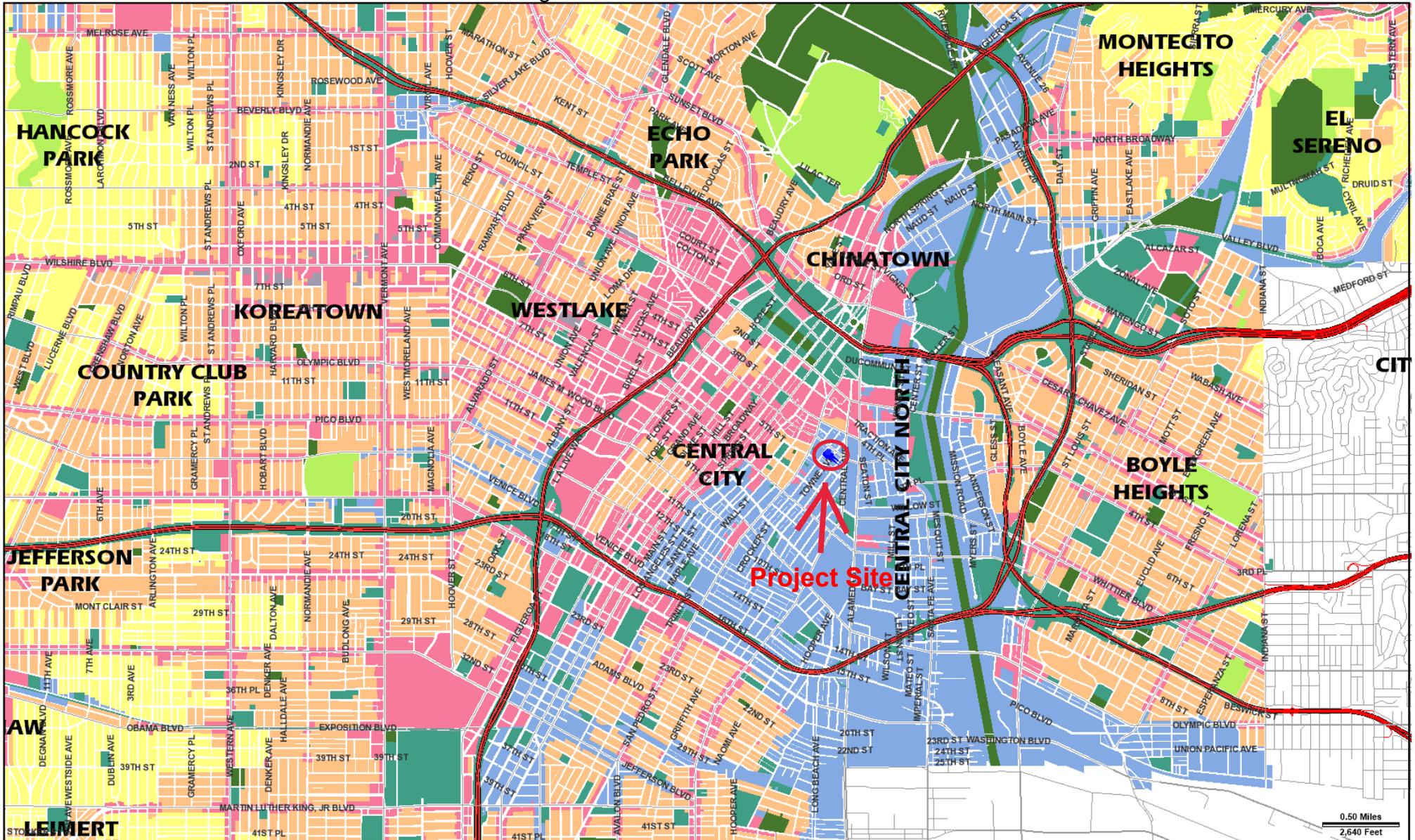
NOTES

0 0 Miles 0 0

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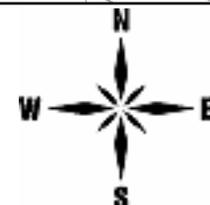
Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

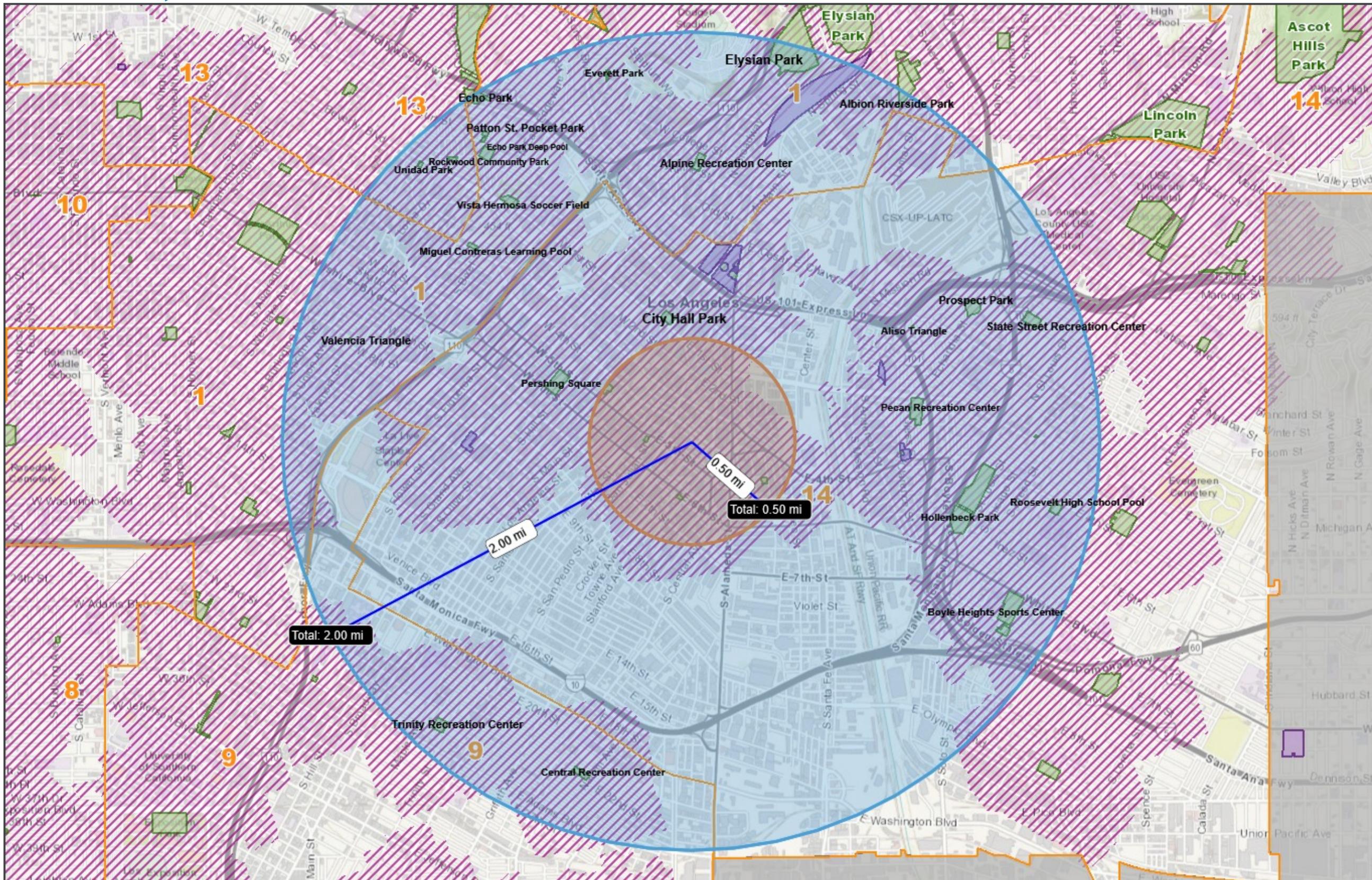
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Printed: 02/24/2020



Address: 412 S CROCKER ST
 APN: 5147009027
 PIN #: 127-5A213 178

Tract: WOLFSKILL ORCHARD TRACT Zoning: M2-2D
 Block: 9 General Plan: Light Manufacturing
 Lot: 21
 Arb: None





LEGEND

- City Council Districts
- Existing Parks
- Non-RAP
- RAP
- City Limits
- RAP Improved Service Areas

NOTES



SCALE 1: 36,112

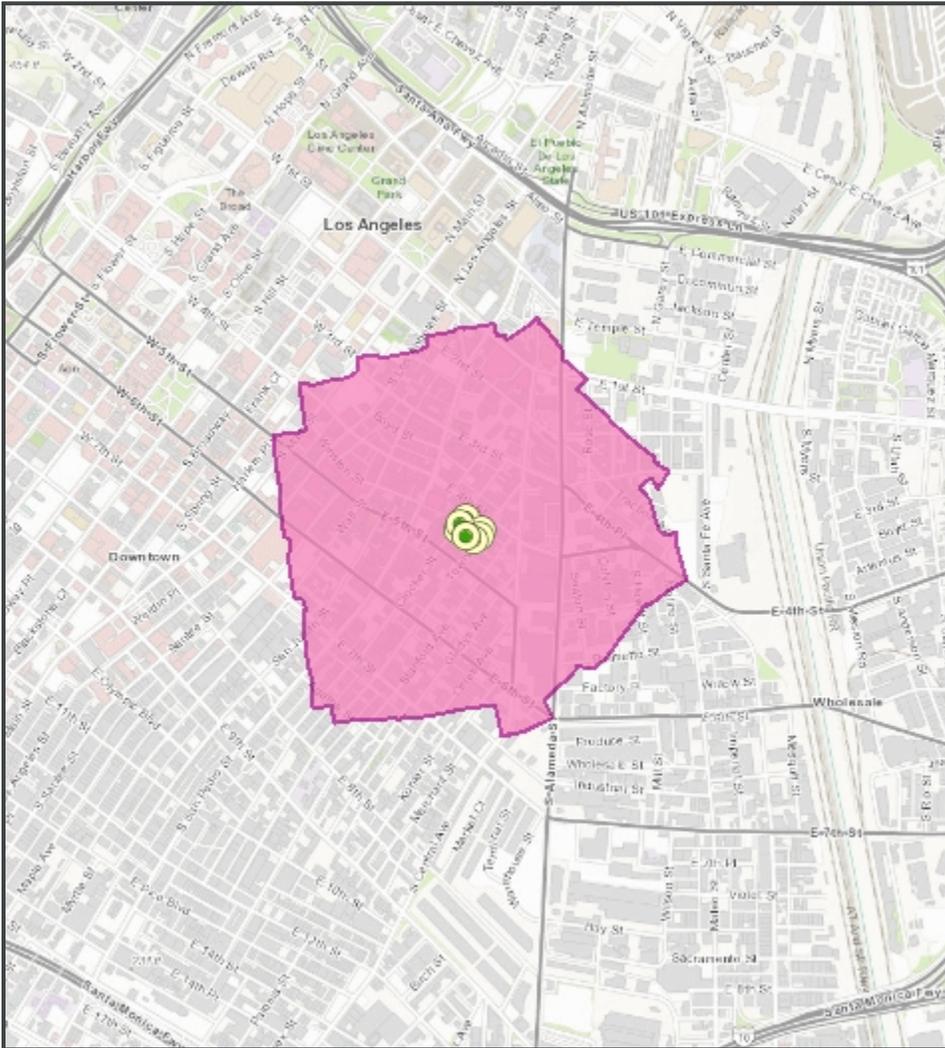
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Printed: 02/25/2020



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM

Park Analysis Report



Scenario Information

Scenario Name:

VTT-82988

Description:

mixed use 100% affordable housing w/
175 units, 8,691 sq ft of commercial use,
19 parking stalls, and 125 bicycle stalls

Scenario Type:

New Park

Park Class:

Improved

Baseline Dataset*:

All Parks (RAP and Non-RAP)

*The baseline dataset is the existing parks dataset whose service areas are used to calculate the currently non-served metrics given below in blue. These residents and households, which would be served by the proposed park, are not currently served by any existing park in the baseline dataset.

Population and Age Breakdown

Household and Income Breakdown

	Total Residents Served:	Currently Non-Served Residents Served:
Residents Served:	12,829	0
Residents Served by Age		
Under Age 5:	174	0
Age 5 to 9:	160	0
Age 10 to 14:	188	0
Age 15 to 17:	119	0
Age 18 to 64:	10,456	0
Age 65 and Over:	1,732	0

	Total Households Served:	Currently Non-Served Households Served:
Households Served:	5,183	0
Households Served by Annual Income		
Under \$25,000:	3,537	0
\$25,000 to \$34,999:	288	0
\$35,000 to \$49,999:	302	0
\$50,000 to \$74,999:	428	0
\$75,000 and Over:	628	0

Source: Census/ACS 2010