

APPROVED
SEP 03 2020

BOARD OF RECREATION
AND PARK COMMISSIONERS

BOARD REPORT

NO. 20-173

DATE September 03, 2020

C.D. 13

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: TRACT MAP NO. VTT-83086 – RECOMMENDATION TO THE ADVISORY AGENCY FOR LAND DEDICATION OR IN-LIEU PARK FEE PAYMENT

AP Diaz	_____	S. Piña-Cortez	_____
H. Fujita	_____	C. Santo Domingo	_____
V. Israel	_____	N. Williams	_____



General Manager

Approved X

Disapproved _____

Withdrawn _____

RECOMMENDATIONS

1. Recommend that the Advisory Agency require Tract Map No. VTT-83086 (Project) to pay in-lieu fees to the City in order fulfill the Project's requirements under provisions of Los Angeles Municipal Code Section 12.33; and,
2. Authorize the Department of Recreation and Parks' (RAP) General Manager or designee to provide a Report to the Advisory Agency informing them of the Board of Recreation and Park Commissioners' (Board) recommendation.

PARK FEE SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update Ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or to pay a fee in-lieu (Park Fee) for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in Los Angeles Municipal Code (LAMC) Section 12.33 C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

LAMC Section 17.03 (Advisory Agency) states that "[t]he Advisory Agency is charged with the duty of making investigations and reports on the design and improvement of proposed subdivisions, of requiring the dedication of land, the payment of fees in lieu thereof, or a combination of both, for the acquisition and development of park and recreation sites and facilities...". The Director of the City Planning Department (City Planning) is designated as the Advisory Agency for the City of Los Angeles and is authorized to act in such capacity through one or more deputies appointed by him or her for that purpose.

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LAMC Section 17.04 (Subdivision Committee) states that RAP is to submit a Report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both for the acquisition and development of park or recreational sites and facilities to serve the future inhabitants of such subdivision...".

PROJECT SUMMARY

The proposed Project, located at 515-531 South Virgil Avenue and 518-526 South Westmoreland Avenue in the Rampart Village community of the City, consists of a mixed-use project with 130 total units (84 apartment units, 46 condominium units, including 19 of which are affordable units), 26,632 square feet (SF) of commercial office space, and two levels of subterranean parking space. The proposed subdivision would contain a total of 5 parcels.

The proposed Project also includes approximately 15,050 SF of common open space, which includes a community room, courtyard, and rooftop garden space.

The Project, as submitted to City Planning, is not proposing to make a park land dedication to the City of Los Angeles either on-site or off-site of the Project location.

Conceptual renderings of the Project are attached (Attachment 1).

EARLY CONSULTATION MEETING

Pursuant to LAMC Section 12.33 D.1, applicants of residential Subdivision projects with more than fifty (50) residential dwelling units are required to meet with RAP and City Planning prior to submitting a tract map application to City Planning. Per LAMC Section 12.33 D.1, "[t]he purpose of this early consultation is to discuss whether the City requires land dedication for the project and/or to discuss credits available to the applicant, if any."

RAP and City Planning staff held an Early Consultation meeting with Project representatives on **October 10, 2018**. The meeting included a discussion of the requirements of LAMC Section 12.33, the maximum land dedication that the Project could be required to provide, options and opportunities for on-site or off-site park land dedications, the calculation of Park Fees, and the various recreational credits available to the proposed Project.

ADVISORY AGENCY

The proposed Project filed a tract map application with City Planning on **June 11, 2020**. On July 22, 2020 the Advisory Agency sent RAP a notification requesting RAP provide its report and recommendations on the Project by a deadline identified as "**August 31, 2020**." The Advisory Agency Filing Notification is attached (Attachment 2).

If no written Report is provided to the Advisory Agency, the Advisory Agency will assume that RAP has no report to make.

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REQUIRED LAND DEDICATION AND IN-LIEU FEE PAYMENT

Pursuant to LAMC Section 12.33 C, “All new residential dwelling units and joint living and work quarters shall be required to dedicate land, pay a fee, or provide a combination of land dedication and fee payment for the purpose of acquiring, expanding and improving park and recreational facilities for new residents.”

LAMC 12.33 D.2.b states “Any land dedication for park and recreation purposes shall not be deducted from a site’s gross lot area for the purposes of calculating project density, lot area, buildable area or floor area ratio.”

Land Dedication

LAMC Section 12.33 D states that residential Subdivision projects with more than fifty (50) residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The maximum amount of land that the Advisory Agency could require a project to dedicate to the City is calculated based on the formula detailed in LAMC Section 12.33 D.2:

- **LD = (DU x P) x F**
 - **LD** = Land to be dedicated in acres.
 - **DU** = Total number of new market-rate dwelling units.
 - **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
 - **P = 2.88**
 - **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
 - **F = 0.00251 (2.51 acres of park land per 1,000 residents)**

The maximum required land dedication for the Project’s proposed 130 units would be:

$$\mathbf{0.94\ Acres = (130 \times 2.88) \times 0.00251}$$

The amount of land that is required to be dedicated is subject to change depending on the Park Service factor in effect at the time the Project is required to dedicate the land; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

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As currently proposed, the Project has 19 affordable units that would likely qualify for an exemption per LAMC Section 12.33 C.3. If those dwelling units are ultimately determined to be exempt, the maximum required land dedication for the Project would be:

$$\mathbf{0.80\ Acres} = (111 \times 2.88) \times 0.00251$$

Per LAMC Section 12.33 D.3, land dedications may be made on-site or off-site of the project location. Any off-site land dedication shall be located within a certain radius of the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

While the Advisory Agency has the authority to require the Project to dedicate land to the City for park purposes, the Board would need to approve any proposed park land dedication before that land can be acquired and accepted by the City. Therefore, if the Advisory Agency requires the Project to dedicate land to the City, RAP staff would need to prepare a subsequent report to the Board regarding the proposed land dedication. That report would detail the amount and location of the land being dedicated, and the improvements, if any, proposed to be developed on the dedicated property. Additionally, if it is determined that the Project will provide a combination of land dedication and fee payment, the report would also identify the amount of in-lieu fees that would be owed to the City after RAP credits the Project for the amount of land being dedicated.

Per Section 66477 (7) of the California Government Code, "Only the payment of fees may be required in subdivisions containing 50 parcels or less, except that when a condominium project, stock cooperative or community apartment project, as those terms are defined in Sections 4105, 4125, and 4190 of the Civil Code, exceeds 50 dwelling units, dedication of land may be required notwithstanding that the number of parcels may be less than 50."The Project applicant states that the Project is a condominium project, as that term is defined in Sections 4125 of the Civil Code.

In-Lieu Fee Payment

Pursuant to LAMC Section 12.33, the Park Fee amount is determined by the type of residential development project (Subdivision or Non-Subdivision) being developed. RAP shall collect these fees pursuant to LAMC Section 19.17 and the Park Fees Section of RAP's Rate and Fee Schedule. As of July 1, 2020, Residential Subdivision projects that are subject to the Subdivision fee shall pay:

$$\mathbf{\$13,609.00 \times \text{number of new non-exempt dwelling units}}$$

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The **maximum** Park Fees payment for the Project's proposed 130 units would be:

$$\mathbf{\$1,769,170.00} = \$13,609.00 \times 130 \text{ dwelling units}$$

As currently proposed, the Project has 19 dwelling units that would likely qualify for an exemption per LAMC Section 12.33 C.3. If those dwelling units are ultimately determined to be exempt, the **maximum** required Park Fee payment for the Project would be:

$$\mathbf{\$1,510,599.00} = \$13,609.00 \times 111 \text{ dwelling units}$$

The amount of Park Fees that are required to be paid is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per LAMC Section 12.33 E.3, any Park Fees collected by the City shall be expended within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

STAFF ANALYSIS AND RECOMMENDATION

In order for RAP staff to determine which mechanism, land dedication or payment of Park Fees, to recommend for the Board's review and approval, RAP staff analyzes each proposed development project, including its location, new population, surrounding parks, any nearby active or proposed park acquisition or park development project, existing park service radius gaps, etc. RAP staff also analyzes any parks, open spaces, or recreational areas anticipated to be provided by each proposed development project in order to determine if those facilities reduce the need for new public recreation and park facilities to serve the project residents.

One of the most critical factors that RAP staff uses to analyze proposed developments is existing park service radius gaps. According to the Trust for Public Land 2020 Park Score Index, approximately 62% of residents in the City of Los Angeles live within a 10-minute walk, from a public park or open space. The Mayor's Office of Sustainability pLAN sets a goal of increasing the percentage of Angelenos living within a one-half mile from a park to at least 65% by 2025; 75% by 2035; and 100% by 2050. RAP has employed a variety of strategies, such as the 50 Parks Initiative, that are intended to increase park access and meet these park access goals.

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Site Analysis

The proposed Project is located within the Rampart Village community of the City and within the Wilshire Community Plan Area. Currently, the Project site is a commercial office and parking lot surrounded by commercial uses on all sides.

An aerial view of the Project site is attached hereto (Attachment 3). A map showing the generalized zoning of the project site is also attached (Attachment 4).

The proposed Project is located in a high-density area of the City. Below is analysis of the density of the area within walking distance of the Project site and a comparison to both citywide density and local community density:

- Half-mile walking distance of the Project site (EPADSS): 20,159 persons (37,331 persons per square mile)
- City of Los Angeles Population Density (2010 United States Census): 8,092 persons per square mile.
- Wilshire Community Plan Area (2017 American Community Survey): 20,560 persons per square mile

Project Open Space and Recreational Areas

As previously discussed, the proposed Project also includes approximately 15,050 SF of common open space, including a community room, courtyard, and rooftop garden space.

The amount of common open space being provided by the proposed Project does not appear to significantly exceed the amount of open space the proposed Project would otherwise be required to provide per LAMC Section 12.21 (or other planning documents, specific plans, etc.). Additionally, it does not appear that these open spaces will include the type and variety of active and passive recreational facilities and amenities that are typically found in the City's Neighborhood and Community Parks and that are needed to meet the needs of residents of all ages and abilities.

As currently proposed, these recreational amenities would likely not significantly reduce the Project's impact on existing public recreational and park facilities nor would they likely significantly reduce the need for new or expanded public recreational and park facilities to serve the Project's residents.

Public Park Access

There are two (2) RAP-owned public parks within a half-mile walking distance from the Project site. A map showing the project location and nearby public parks is attached hereto (Attachment 5).

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- Shatto Recreation Center, located at 3191 West 4th Street, is a 5.45-acre facility that features a gymnasium, tennis courts, a baseball field, a multipurpose field, a children's play area, basketball courts and outdoor fitness equipment and provides a variety of services and programs.
- Lafayette Recreation Center, located at 625 South Lafayette Place, is a 9.72-acre park that features an indoor gymnasium and community center, a synthetic field and two outdoor basketball courts, two tennis courts, and two children's play areas.

As previously noted in this Report, a land dedication for a new public park could be located either on-site or off-site of the Project location. If a new public park was provided at the Project location the park would serve the new residents of the Project and would serve approximately **0** new, previously unserved, residents within a half-mile walking distance (Attachment 6). If a new public park was provided off-site of the Project location the park would serve the new residents of the Project as well as an unknown number of new, previously unserved, residents within a half-mile walking distance. If the proposed Project does elect to make some or all of its required land dedication off-site, staff would work with the Project to identify a site that would serve project residents, help close an existing park service area gap, and maximize, to the extent feasible, the number of new residents who would be within a half-mile walking distance of a public park.

Nearby Public Park Projects

There is one (1) new public park currently in development within a two (2) mile radius of the Project site.

- The Pio Pico Library Park – Park Lease and Development (PRJ20934) Project, located at 694 South Oxford Avenue, proposes the development of a pocket park in the 0.60-acre property and the construction of an underground parking structure with a capacity of at least 50 parking spaces in front of the Pio Pico Library. The Pio Pico Library Park – Park Lease and Development (PRJ20934) Project is being led by BOE and is currently in the design phase. While the design and construction of the Pio Pico Library Park – Park Lease and Development (PRJ20934) Project are fully funded at this time, additional funding may be needed in order to provide temporary parking at Pio Pico Library during the construction of the park.

There is one (1) major park renovation project currently in development within a two (2) mile radius of the Project site:

- Lafayette Recreation Center, located at 625 South Lafayette Park Place, is a 9.72-acre facility that features an indoor gymnasium and community center, a small synthetic field, a skate park, two basketball courts, two tennis courts, and two children's play areas. The scope of work for the Lafayette Recreation Center – Outdoor Improvements (PRJ21330) (PRJ20495) Project is the refurbishment of the existing turf, irrigation, landscaping, and the installation of related site amenities, new outdoor fitness equipment, outdoor lighting renovations, replacement of the existing 5-12 year old play

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area, reconfiguration of two existing basketball courts, the addition of one new tennis court, one new synthetic futsal court, new outdoor fitness equipment, new park pathways, and new site amenities such as benches, hydration stations, and a storage container. Portions of The Lafayette Recreation Center – Outdoor Improvements (PRJ21330) (PRJ20495), including the new playgrounds, have already been completed. The remaining elements of the Project, including the reconfiguration of the basketball courts and the new synthetic field are still in design. The Lafayette Recreation Center – Outdoor Improvements (PRJ21330) (PRJ20495) Project is fully funded at this time.

Staff Recommendation

RAP staff recommends that the appropriate mitigation measure for this proposed Project is the payment of in-lieu fees to the City.

The Project site is not located in an existing park service radius gap. There are two (2) RAP-owned public parks within a half (½) mile walking distance from the Project.

There is one (1) public park currently in development within a two (2) mile radius of the Project site.

There is one (1) park renovation project currently in development within a two (2) mile radius of the Project site.

If a new public park was provided at the Project location, the park would serve Project residents and 0 currently unserved residents within a half mile walking distance.

FISCAL IMPACT

As it is not known at this time if the Advisory Agency will recommend the proposed Project dedicate park land to the City or to pay Park Fees, the potential Fiscal Impact to the RAP's General Fund is unknown.

STRATEGIC PLAN INITIATIVES AND GOALS

Approval of this Board Report advances RAP's Strategic Plan by supporting:

- Goal No. 3:** Create & Maintain World Class Parks and Facilities
Outcome No. 3: Increased park maintenance, with a focus on cleanliness.
- Result:** Collected fees will fund capital improvements at existing parks in the Project area.

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This Report was prepared by Ligaya Khennavong, Management Assistant, Planning, Maintenance and Construction Branch.

LIST OF ATTACHMENTS

- 1) Conceptual Project Renderings
- 2) Advisory Agency Filing Notice
- 3) Aerial View of Project Site
- 4) Generalized Zoning
- 5) Project Location and Surrounding Parks
- 6) EPADSS Report

**EHRlich
YANAI
RHEE
CHANEY**

ARCHITECTS

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Culver City CA 90232
eyrc.com

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ISSUE DATES

NO.	DATE	REVISION
1	Date 1	Revision 1

CAR

525 S. VIRGIL AVE, LOS ANGELES, CA, 90020

05/08/2020

100% ENTITLEMENTS

CAR
525 S. VIRGIL AVE, LOS ANGELES, CA, 90020

COVER SHEET

The plans and specifications prepared by Ehrlich Yanai Rhee Chaney Architects, LLP are protected from unauthorized modification, reuse and/or release under California Business & Professions Code section 25104.4, Health & Safety Code Section 185101, and Education Code Section 17139.

JOB NUMBER: 000
DATE: 05/08/2020

G0.001

4/13/2020 2:41:09 PM C:\Users\mcmillan\Documents\1962_CAR_Central_Produm_mcmillan.rvt

PROJECT DIRECTORY

OWNER
CALIFORNIA ASSOCIATION OF REALTORS
525 S VIRGIL AVE
LOS ANGELES, CA, 90020

DEVELOPER
THOMAS SAFRAN & ASSOCIATES
11811 SAN VINCENTE BLVD
LOS ANGELES, CA, 90049

ARCHITECT
EHRlich YANAI RHEE CHANEY ARCHITECTS
10865 WASHINGTON BLVD
CULVER CITY, CA, 90232

PLANNING CONSULTANT
THREE6IXTY
11287 W. WASHINGTON BLVD
CULVER CITY, CA, 90232

LANDSCAPE ARCHITECT
PAMELA BURTON & COMPANY LANDSCAPE ARCHITECTS
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SANTA MONICA, CA, 90404

EHRlich YANAI RHEE CHANNEY

ARCHITECTS

10865 Washington Blvd
Culver City CA 90232
eyrc.com

☎ 310 838 9700
☎ 310 838 9737

Sheet 1 of 2 Sheets

A.L.T.A. / N.S.P.S. Land Title Survey

Date of Plan:

APRIL 6, 2018

Date of Field Survey:

MARCH 23, 2018

Address:

525 S. VIRGIL AVENUE, LOS ANGELES, CA 90020

Adjoining Addresses and Owner's Information:

THE ADJOINING ADDRESSES AND OWNER'S INFORMATION SHOWN ON THIS MAP ARE PER DOCEDGE.COM AND L.A. COUNTY TAX ASSESSOR WEBSITE.

Assessor's Parcel Number (APN):

5077-004-030

General:

ALL EASEMENT DESCRIPTIONS SHOWN HEREON ARE PER PRELIMINARY REPORTS STATED HEREON AND MAY BE SHORTENED OR ABBREVIATED. ORIGINAL DOCUMENT MUST BE USED FOR COMPLETE VERBAGE AND INTERPRETATION. OTHER EASEMENTS MAY EXIST WITHIN SUBJECT PROPERTY, NOT INCLUDED WITHIN SAID PRELIMINARY REPORTS. HAHN AND ASSOCIATES, INC. DID NOT PERFORM A TITLE SEARCH FOR THIS PROJECT. PROPERTY LINE CLEARERS ARE ORIENTED IN PLAN VIEW, PERPENDICULAR TO PROPERTY LINE. FENCING IS DEPICTED TO CENTER OF FENCE.

NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

Basis of Bearings:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CALIFORNIA STATE PLANE COORDINATE SYSTEM - NAD 83 (2011) ZONE 5, DERIVED FROM SOPAC'S CALIFORNIA REAL TIME NETWORK. THE BEARING BETWEEN CORNERS "TOP" AND "BOTTOM", BEING N42°40'32"W, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

Boundary:

ESTABLISHED PER FOUND CITY CENTERLINE MONUMENTS, USING STANDARD SURVEYING PROCEDURES.

Area:

42,146 SQUARE FEET, 0.97 ACRES - GROSS

Flood Zone:

THIS PROPERTY LIES WITHIN ZONE "X" AS SHOWN ON FIRM MAP COMMUNITY PANEL NUMBER OF 06037C1610F DATED SEPTEMBER 26, 2008. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

Utilities:

IF UNDERGROUND PUBLIC UTILITIES, OTHER SUBSTRUCTURES OR ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM THE BEST AVAILABLE SOURCES BUT FROM OTHERS NOT CONNECTED WITH THIS COMPANY. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IT IS ADVISED TO CALL UNDERGROUND SERVICE ALERT, (800) 227-2600, BEFORE DIGGING ON THIS SITE.

Existing Parking:

REGULAR: 103 SPACES

HANDICAPPED: 4 SPACES

TOTAL PARKING: 107 SPACES

Preliminary Title Report (PTR):

PREPARED BY COMMONWEALTH LAND TITLE COMPANY, ORDER NO.: 09194253-919-KRC-KRE, DATED FEBRUARY 7, 2018.

Legal Description Per PTR:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THE SOUTH 20 FEET OF LOT 6, ALL OF LOTS 7, 8, 9 AND 18 AND THE NORTH 40 FEET OF LOT 17, ALL IN BLOCK 22 OF THE SOUTH HALF OF THE WEST END UNIVERSITY ADDITION, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 24 PAGES 59 AND 60 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THE NORTH 12 FEET OF SAID LOT 18.

Exceptions per PTR:

△ A. NOT A SURVEY MATTER

△ B. NOT A SURVEY MATTER

△ C. NOT A SURVEY MATTER

△ 1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

△ 2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DISCLOSED BY A DECLARATION BY THE DEPARTMENT OF WATER AND POWER OF THE CITY OF LOS ANGELES

IN FAVOR OF: THE CITY OF LOS ANGELES, SUCCESSOR TO LOS ANGELES, GAS & ELECTRIC CORP.

PURPOSES: POLE LINES AND CONDUITS

RECORDING NO.: IN BOOK 15827 PAGE 281 OFFICIAL RECORDS

AFFECTS: THE REAR 5 FEET OF SAID LOTS 6, 7, 8 AND 9.

△ 3. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: POLE LINES AND CONDUITS

RECORDING NO.: IN BOOK 2831 PAGE 149 OF DEEDS

AFFECTS: THE REAR OF WESTERLY 5 FEET OF THE SOUTH 10 FEET OF SAID LOT 7 AND THE WESTERLY 5 FEET OF SAID LOT 8

AND RECORDING NO.: IN BOOK 2866 PAGE 292 OF DEEDS

△ 4. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO.: IN BOOK 362 PAGE 9 OF DEEDS

AFFECTS: LOT 9

△ 5. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING NO.: IN BOOK 471 PAGE 285 OF DEEDS

AFFECTS: LOT 9

△ 6. THE EFFECT OF ANY UNRECORDED OIL AND GAS LEASES, AFFECTING BLOCK 22 OF SAID SOUTH HALF OF THE WEST END UNIVERSITY ADDITION TRACT, AS DISCLOSED BY AN ASSIGNMENT OF ROYALTY INTEREST FROM P. FLEMING AND MORGAN WEST TO LOUIS A. SACKIN, RECORDED OCTOBER 22, 1958 IN BOOK M140 PAGE 120 OFFICIAL RECORDS.

THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.

△ 7. A LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN DATED NOVEMBER 12, 1958

LESSOR: IRIS ASHTON EVANS

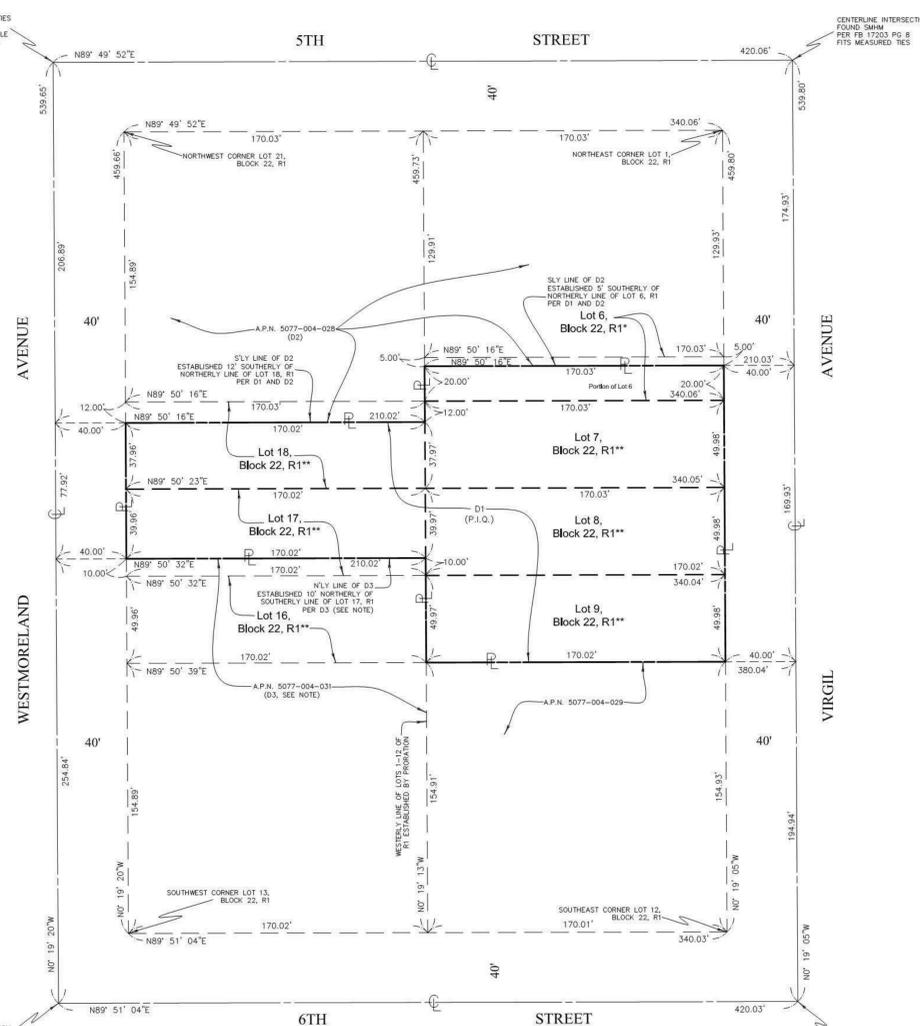
LESSEE: E.G. BURKE, JR. AND R. L. BAUMAN, DOING BUSINESS AS BURKE AND BAUMAN

JUNE 8, 1959

RECORDING DATE: JUNE 8, 1959

RECORDING NO.: IN BOOK M294 PAGE 497 OFFICIAL RECORDS

CENTERLINE INTERSECTION ESTABLISHED BY MEASURED TIES PER FB 17203 PG 8 FOUND 13' HUNCH OR MANHOLE DID NOT SEARCH FOR HOOPS DUE TO HEAVY TRAFFIC



References:

R1 = SOUTH HALF OF THE WEST END UNIVERSITY ADDITION, M.R. 24, PGS. 59-60
R2 = CEFB 17203, PAGE 9
R3 = CEFB 17203, PAGE 10
R4 = CEFB 135-201, PAGE 135

D1 = INSTRUMENT NO. 80-468673 RECORDED MAY 9, 1980, O.R. (P.I.O.)
D2 = INSTRUMENT NO. 20120325733 RECORDED MARCH 1, 2012, O.R.
D3 = INSTRUMENT NO. 20070704157 RECORDED MARCH 27, 2007, O.R.
D4 = INSTRUMENT NO. 2051 RECORDED APRIL 30, 1965, O.R.
D5 = INSTRUMENT NO. 77-1278626 RECORDED NOVEMBER 18, 1977, O.R.

Boundary Note:

CURRENT LEGAL DESCRIPTIONS FOR D1 AND D3 RESULT IN AN OVERLAP ALONG THE NORTH LINE OF D3. THE LOCATION OF THE LINE SHOWN HEREON WAS DETERMINED BY SENIOR RIGHTS FROM THE FIRST CUT DEEDS FOR LOT 17 OF R1 (D4 AND D5). BOTH OF THE DESCRIPTIONS IN THESE FIRST CUT DEEDS WERE ALSO ORIGINALLY WRITTEN SO AS TO NOT CREATE A GAP.

Legend:

** = ESTABLISHED BY PRORATION PER R1

⊕ = CENTERLINE

⊕ = PROPERTY LINE

Survey Prepared For:

Thomas Safran & Associates
11812 San Vicente Blvd., Suite 600
Los Angeles, CA 90049

Survey Prepared By:

Hahn and Associates, Inc.
28368 Constellation Rd., Unit 300
Santa Clarita, CA 91355
(661) 775-9500

HAHN
AND ASSOCIATES, INC.

△ 8. AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT TO PROVIDE PARKING ATTENDANT

RECORDING DATE: MAY 10, 1965
RECORDING NO.: 3603 OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

△ 9. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY. SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS.

RECORDING DATE: MAY 10, 1965
RECORDING NO.: 3603 OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

△ 10. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT

ENTITLED: MEMORANDUM OF LEASE

LESSOR: STUART M. KETCHUM

LESSEE: NORTHWESTERN MUTUAL INSURANCE COMPANY, A WASHINGTON CORPORATION

RECORDING DATE: JUNE 17, 1965

RECORDING NO.: 4700 OFFICIAL RECORDS

THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.

AN AGREEMENT TO AMEND OR MODIFY CERTAIN PROVISIONS OF SAID LEASE, AS SET FORTH IN THE DOCUMENT EXECUTED BY:

AS LESSOR: STUART M. KETCHUM

AS LESSEE: NORTHWESTERN MUTUAL INSURANCE COMPANY

DATED: DECEMBER 7, 1964

RECORDING DATE: APRIL 28, 1966

RECORDING NO.: 4309 OFFICIAL RECORDS

MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: RATIFICATION OF LEASE

RECORDING DATE: JUNE 2, 1966

RECORDING NO.: 716 OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

△ 11. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.

THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY PRODUCT OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.

THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.

△ 12. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, OR ANY OTHER MATTERS WHICH A CORRECT SURVEY WOULD DISCLOSE AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.

△ 13. ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.

△ 14. MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.

△ 15. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN BEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.

Exceptions Legend:

△ = NOT PLOTTABLE (SEE TITLE REPORT AND ACTUAL DOCUMENTS FOR DETAILS)

⊕ = PLOTTED HEREON (SEE TITLE REPORT AND ACTUAL DOCUMENTS FOR DETAILS)

Vicinity Map:



Surveyor's Certificate:

TO THOMAS SAFRAN AND ASSOCIATES; CALIFORNIA ASSOCIATION OF REALTORS, INC., AND COMMONWEALTH LAND TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9, 13, 14, 16, 19, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 23, 2018.

DATE OF PLAT OR MAP: APRIL 6, 2018

NAME: BRANDON M. HAHN

DATE OF SIGNATURE: APRIL 6, 2018

REGISTRATION NO.: PLS. 7582

Hahn Job No.: 0106-18-018

FOR REFERENCE ONLY

CAR
525 S. VIRGIL AVE, LOS ANGELES, CA, 90020

SURVEY (FOR REFERENCE ONLY)

JOB NUMBER: 000

DATE: 05/08/2020

G0.002

SITE INFORMATION

Address: 515-531 S. Virgil Avenue & 518-526 S Westmoreland Avenue, Los Angeles, CA, 90020
 APN: 5077-004-030
 LOT: The south 20 feet of Lot 6, all of Lots 7, 8, 9 and 18 and the north 40 feet of Lot 17
 BLOCK: BLOCK 22
 Zoning: R4P1 - CR1 Los Angeles
 (ZI-1195 Department of Conversation, Division of Oil & Gas Clearance)
 (ZI-2374 Los Angeles State Enterprise Zone)
 (ZI-2542 Transit Priority Area in the City of Los Angeles)

SITE AREA: 42,160 SF, 0.97 ACRES - GROSS (Pre-Dedication)
 41,650 SF, 0.97 ACRES - GROSS (Post-Dedication)
 3'-0" Dedication along the side of the property fronting Virgil Avenue

TOC TIER 3

USES

Permitted Uses Community Commercial
 Proposed Uses Multi-family Residential, Commercial Office

DENSITY

Allowed Lot Area/ Dwelling Unit: 1 Unit/400 SF
 Allowed Residential Density By Right (LAMC Sec. 12.11) 104 units (Post-Dedication)
 Allowed Residential Density with TOC (70% bonus) 177 units
 Proposed Residential Density 130 units

SITE & FAR SUMMARY

Zoning Summary	Virgil Site	Westmoreland Site	Total
Gross Lot Area (Pre-Deduction)	28,890		
Gross Lot Area (Post-Deduction)	28,380	11,705	40,085 SF
Floor Area Ratio	1.5	3	
Floor Area Ratio with TOC	3.75	4.5	
Allowable Floor Area	106,425	52,673	159,098 SF

Proposal Summary (*per Zoning Code)

	Virgil Site	Westmoreland Site	Total
Allowable Floor Area	106,425	52,673	159,098 SF
Proposed Floor Area (Residential)	64,046	42,353	106,399 SF
Proposed Floor Area (Office)	26,632		26,632 SF
Tot. Proposed Floor Area	90,678	42,353	133,031 SF
Parking Area (FAR Exclusive)			76,214 SF

CALIFORNIA BUILDING CODE AREA SUMMARY

Office Building

	A	B	C	
Zoning Code Area	Vertical Circulation	Mech. Room, Storage	Building Code Area (A+ B + C)	
P2	274		274	
P1	274	278	552	
L1	11116	504	11620	
L2	8381	505	8886	
L3	7135	503	7638	
TOTAL	26632	2060	278	28970

Condo Building

	A	B	C	
Zoning Code Area	Vertical Circulation	Mech. Room, Storage	Building Code Area (A+ B + C)	
P2	257		257	
P1	262	782	1044	
L1	6907	488	7395	
L2	7073	487	7560	
L3	7091	470	7561	
L4	7086	470	7556	
L5	7096	469	7565	
L6	7099	471	7570	
L7		489	880	
TOTAL	42353	3863	1173	47389

Apartment Building

	A	B	C	
Zoning Code Area	Vertical Circulation	Mech. Room, Storage	Building Code Area (A+ B + C)	
P2	273		273	
P1	273	374	647	
L1	989	421	1494	
L2	8930	502	9432	
L3	8997	404	9401	
L4	9024	404	9428	
L5	9031	404	9435	
L6	9031	404	9435	
L7	9004	404	9408	
L8	9040	404	9444	
TOTAL	64046	3893	458	68404

BUILDING HEIGHT

Maximum Allowable Building Height: R4P-1 zone: Unlimited CR zone: 75'-0"
 Proposed Maximum Building Height: 86'-0" w/ TOC (8 Stories Apartment) CR zone 44'-0" (3 Stories Office) CR zone 79'-0" (6 Stories Condo) R4 zone

BUILDING SETBACKS

TOC incentives: Commercial zones may utilize any or all of the yard requirements for the RAS3 one (LAMC 12.10.5)

CR-1 Zone

Required: 5'-0" min. (RAS3)
 Front Yard 5' min. for residential & 0' min. for commercial (RAS3)
 Side Yard

Provided:

Front Yard 5'-0"
 Side Yard 5'-0"

R4P-1 Zone

Required: 15'-0" min.
 Front Yard (base 5' + four stories 4') 9'-0" min.
 Side Yard

Provided:

Front Yard 15'-0"
 Side Yard 9'-9"

UNIT MIX

Apartment

Unit Name	Unit Type	Count	Avg. Unit Area
Apt Studio	Studio/ 1 Ba	35	433 SF
Apt 1 BR	1Bed/ 1 Ba	21	550 SF
Apt 2 BR	2Bed/ 1 Ba	28	840 SF
Total		84	

Condo

Unit Name	Unit Type	Count	Avg. Unit Area
Condo 1 BR	1Bed/ 1 Ba	30	626 SF
Condo 2 BR	2Bed/ 1 Ba	16	817 SF
Total		46	

Total Residential Units 130 units (Apartment & Condo Combined)

OPEN SPACE REGULATIONS (LAMC 12.21-G)

Required Open Space:

Unit Type	Unit Count	Rate Per Unit	Req. Area
STUDIO	35	100 SF	3,500 SF
1 BR	51	100 SF	5,100 SF
2 BR	44	125 SF	5,500 SF
TOTAL:			14,100 SF

Provided Open Space in Condo Building (R4P-1 Zone):

(Max. 50 SF of private open space can be used per unit)

Ground Level			
5 Units x 50 SF (private)		250 SF	
Amenity (common)		600 SF	
Courtyard (common)		1500 SF	
2nd Residential Level			
7 Units x 50 SF (private)		350 SF	
3rd Residential Level			
8 Units x 50 SF (private)		400 SF	
4th Residential Level			
8 Units x 50 SF (private)		400 SF	
5th Residential Level			
8 Units x 50 SF (private)		400 SF	
6th Residential Level			
8 Units x 50 SF (private)		400 SF	
7th Residential Level			
Rooftop Garden (common)		4,000 SF	
		TOTAL Open Space (private) :	2,200 SF
		TOTAL Open Space (common) :	6,100 SF
		TOTAL Open Space Provided :	8,300 SF

Provided Open Space in Apartment Building (CR Zone):

(Max. 50 SF of private open space can be used per unit)

Ground Level			
Community Room (common)		850 SF	
2nd Residential Level			
Courtyard (common)		4,500 SF	
4 Units x 50 SF (private)		200 SF	
3rd Residential Level			
4 Units x 50 SF (private)		200 SF	
4th Residential Level			
4 Units x 50 SF (private)		200 SF	
5th Residential Level			
4 Units x 50 SF (private)		200 SF	
6th Residential Level			
4 Units x 50 SF (private)		200 SF	
7th Residential Level			
4 Units x 50 SF (private)		200 SF	
8th Residential Level			
4 Units x 50 SF (private)		200 SF	
		TOTAL Open Space (private) :	1,400 SF
		TOTAL Open Space (common) :	5,350 SF
		TOTAL Open Space Provided :	6,750 SF

TOTAL Residential Open Space Provided : 15,050 SF

PARKING SUMMARY

Commercial: 2 stalls per 1000sf per Zi-2129 Enterprise Zone - LAMC 12.21A4(x)(3)
Residential: 0.5 stall per 1 dwelling unit (D/U)

Required Parking Calculations

	Unit Count/Area	Scaling Factor	Stall Count
Commercial	26,632	0.002	54
Residential	130	0.5	65
TOTAL Parking Required			119

Provided Parking Tabulation

Surface Parking -	Standard Parking	22 spaces
	Surface Parking: 22 spaces	
Underground Parking Level P1 -	Standard Parking	35 spaces
	Compact Parking	12 spaces
	Tandem Parking	12 spaces
	Accessible Parking	5 spaces
	Van Accessible Parking	1 space
	P1 Parking: 65 spaces	
Underground Parking Level P2 -	Standard Parking	43 spaces
	Compact Parking	18 spaces
	Tandem Parking	18 spaces
	P2 Parking: 79 spaces	
Totals -	Standard Parking (Residential)	65 spaces
	Tandem Parking (Residential)	30 spaces
	Compact Parking (Residential)	11 spaces
	Residential Parking: 106 spaces	
	Residential Compact Ratio (40% Max):	10.38%
	Standard Parking (Commercial)	35 spaces
	Compact Parking (Commercial)	19 spaces
	Commercial Parking: 54 spaces	
	Commercial Compact Ratio (40% Max):	35.19%
	Accessible Parking	5 spaces
	Van Accessible Parking	1 spaces
	Accessible Parking: 6 spaces	
	Total Parking: 166 spaces	

EVCS Requirements

30% of Total Parking to be EVCS Ready
 (10% of Total Parking need to be installed)

Provided EVCS Tabulation

Underground Parking Level P1 -	Standard EVCS Parking	12 spaces
	Compact EVCS Parking	6 spaces
	P1 EVCS Parking: 18 spaces	
	Total EVCS Parking: 18 spaces	
	Total EVCS Ratio (10% Min):	10.40%
EVCS Ready Stalls	P1 EVCS Ready Stalls	28 spaces
	P2 EVCS Ready Stalls	24 spaces
	Total EVCS Parking: 52 spaces	
	Total EVCS(Installed plus Ready stalls) Parking: 70 spaces	
	Total EVCS Ready Ratio (30% Min):	30.46%

Bicycle Parking Requirements (ordinance no. 185,480)

Bicycle Required (Residential)			
Long Term:	Units	Rate	Required
First Tier (1-25)	25	1/1 Unit	25 Spaces
Second Tier (25-100)	75	1/1.5 Units	50 Spaces
Third Tier (101-200)	30	1/2 Units	15 Spaces
		TOTAL:	90 Spaces
Short Term:			
First Tier (1-25)	25	1/10 Unit	2.5 Spaces
Second Tier (25-100)	75	1/15 Units	5 Spaces
Third Tier (101-200)	30	1/20 Units	1.5 Spaces
		TOTAL:	9 Spaces
		TOTAL Required: 99 Spaces	
Bicycle Required (Commercial)			
Long Term: 1 per 5,000 SF (minimum 2)			
26,632 / 5,000 = 5.33 =			6 Spaces Required
Short Term: 1 per 10,000 SF (minimum 2)			
26,632 / 10,000 = 2.66 =			3 Spaces Required
		TOTAL Required: 9 Spaces	

Bicycle Parking Provided (Residential)

Long Term Parking (P1 Bike Storage Rooms) 90 Spaces Provided
 Short Term Parking (Exterior Level 1 Building Entries) 9 Spaces provided
 Bike Maintenance – Additional 100 SF workspace provided within Bike Storage Room

TOTAL Provided: 99 Spaces

Bicycle Parking Provided (Commercial)

Long Term Parking (P1 Bike Storage Room) 6 Spaces Provided
 Short Term Parking (Exterior Level 1 Commercial Office Entry) 3 Spaces Provided
 Bike Maintenance – Additional 100 SF workspace provided within Bike Storage Room

TOTAL Provided: 9 Spaces

**EHRlich
 YANAI
 RHEE
 CHANEY**

ARCHITECTS

10865 Washington Blvd
 Culver City CA 90232
 eyrc.com

☎ 310 838 9700
 📠 310 838 9737

ISSUE DATES

NO.	DATE	REVISION
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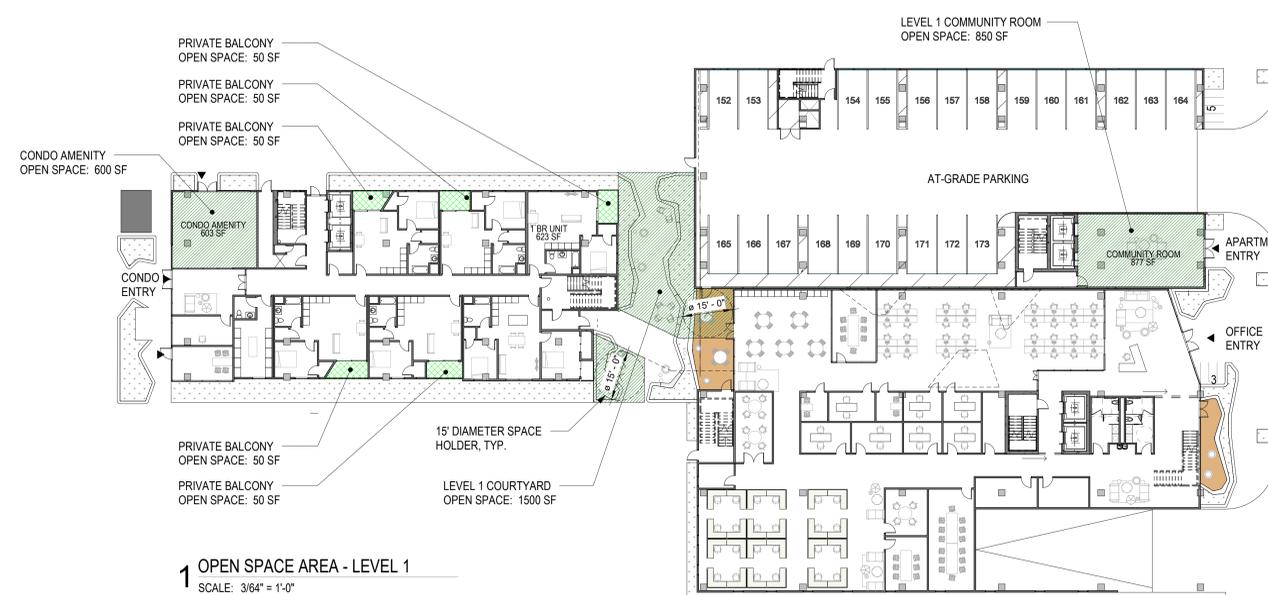
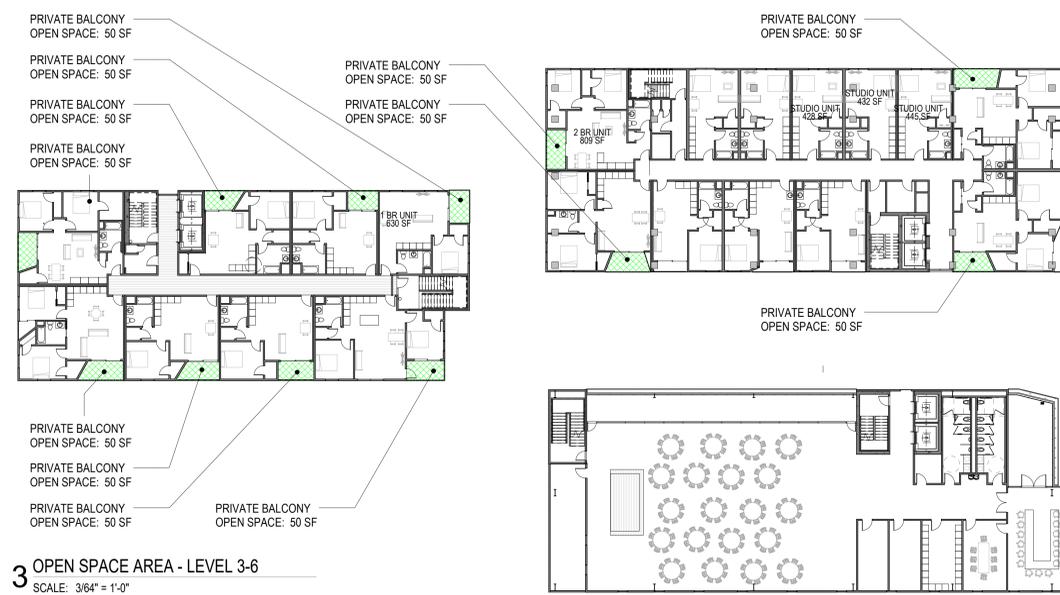
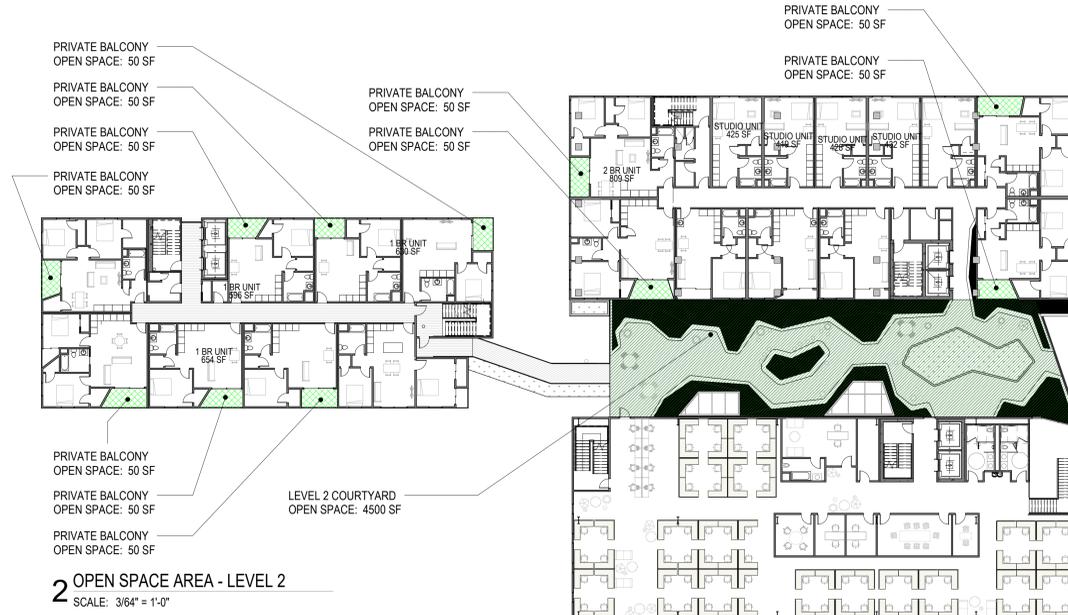
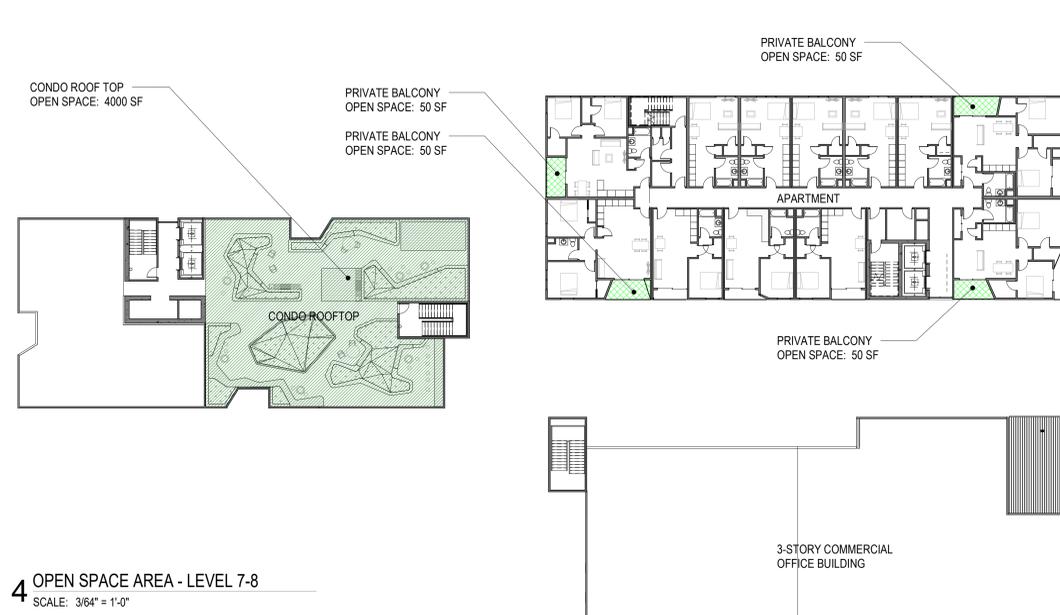
CAR
 525 S. VIRGIL AVE, LOS ANGELES, CA, 90020

PROJECT DATA

JOB NUMBER: 000

DATE: 05/08/2020

GO.004



NOTE: BALCONIES NOT COUNTED TOWARDS OPEN SPAC CALCULATION UNLESS NOTED OTHERWISE
HATCH DENOTES COMMON OPEN SPACE WITH MIN 15'-0" IN ANY DIRECTION AND A MIN. OF 600SF

ISSUE DATES		
NO.	DATE	REVISION

OPEN SPACE LEGEND

PRIVATE OPEN SPACE	
COMMON OPEN SPACE	

OPEN SPACE REGULATIONS (LAMC 12.21-G)
Required Open Space:

Unit Type	Unit Count	Rate Per Unit	Req. Area
STUDIO	35	100 SF	3,500 SF
1 BR	51	100 SF	5,100 SF
2 BR	44	125 SF	5,500 SF
TOTAL:			14,100 SF

Provided Open Space in Condo Building (R4P-1 Zone):
(Max. 50 SF of private open space can be used per unit)

Ground Level	5 Units x 50 SF (private)	250 SF
	Amenity (common)	600 SF
	Courtyard (common)	1500 SF
2nd Residential Level	7 Units x 50 SF (private)	350 SF
3rd Residential Level	8 Units x 50 SF (private)	400 SF
4th Residential Level	8 Units x 50 SF (private)	400 SF
5th Residential Level	8 Units x 50 SF (private)	400 SF
6th Residential Level	8 Units x 50 SF (private)	400 SF
7th Residential Level	Rooftop Garden (common)	4,000 SF
TOTAL Open Space (private):		2,200 SF
TOTAL Open Space (common):		6,100 SF
TOTAL Open Space Provided:		8,300 SF

Provided Open Space in Apartment Building (CR Zone):
(Max. 50 SF of private open space can be used per unit)

Ground Level	Community Room (common)	850 SF
2nd Residential Level	Courtyard (common)	4,500 SF
	4 Units x 50 SF (private)	200 SF
3rd Residential Level	4 Units x 50 SF (private)	200 SF
4th Residential Level	4 Units x 50 SF (private)	200 SF
5th Residential Level	4 Units x 50 SF (private)	200 SF
6th Residential Level	4 Units x 50 SF (private)	200 SF
7th Residential Level	4 Units x 50 SF (private)	200 SF
8th Residential Level	4 Units x 50 SF (private)	200 SF
TOTAL Open Space (private):		1,400 SF
TOTAL Open Space (common):		5,350 SF
TOTAL Open Space Provided:		6,750 SF

TOTAL Residential Open Space Provided: 15,050 SF

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525 S. VIRGIL AVE, LOS ANGELES, CA, 90020

OPEN SPACE AREA CALCULATION DIAGRAMS

JOB NUMBER: 000
DATE: 05/08/2020

GO.005

ISSUE DATES

NO.	DATE	REVISION

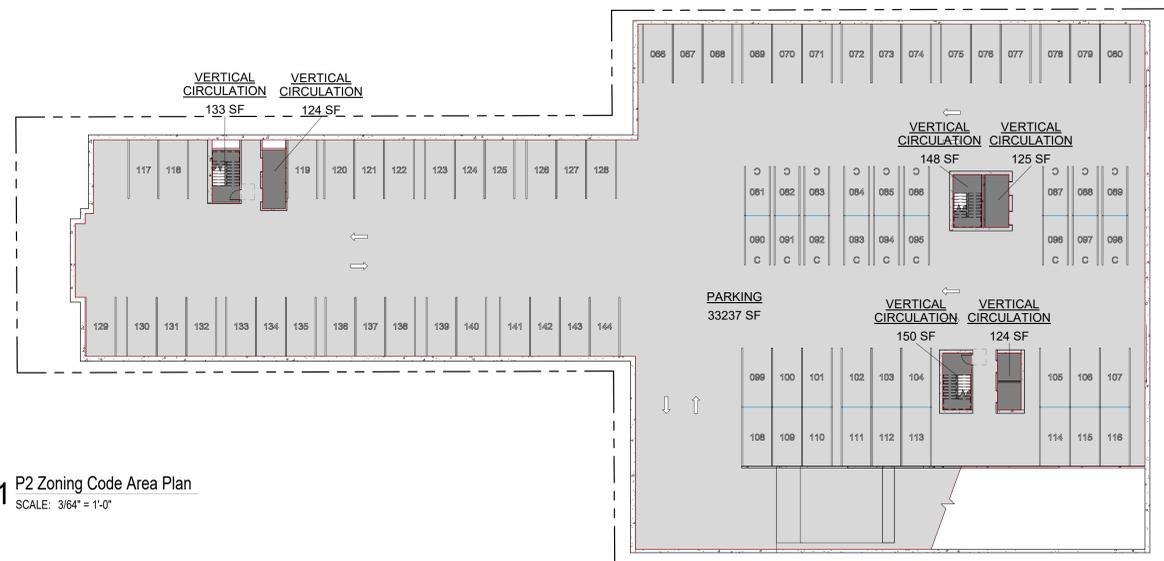
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ZONING CODE FLOOR
AREA CALCULATION
DIAGRAMS

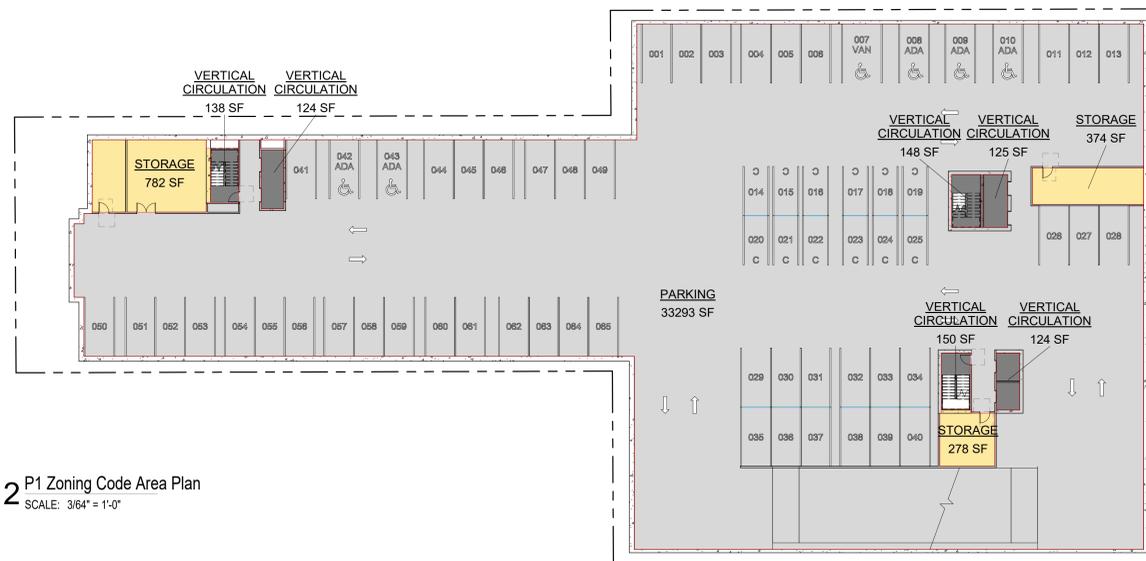
The plans and specifications prepared by Ehrlich Yanai Rhee Channey Architects, LLP are protected from unauthorized modification, reuse and/or release under California Business & Professions Code section 25424, and the Uniform Code of Sentences (U.C.S.), and Education Code Section 17520.

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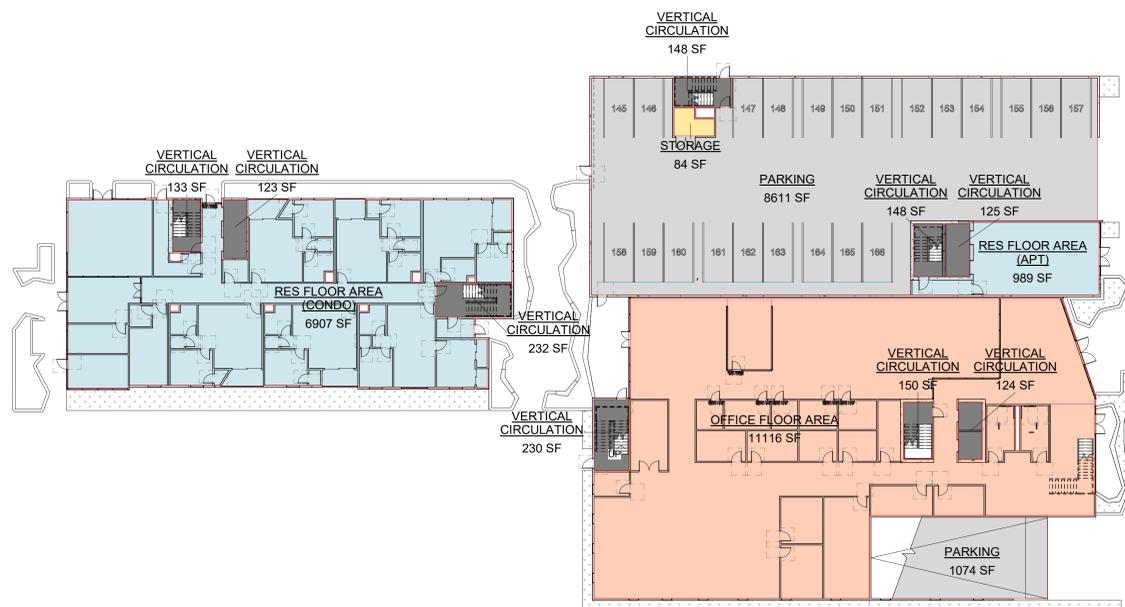
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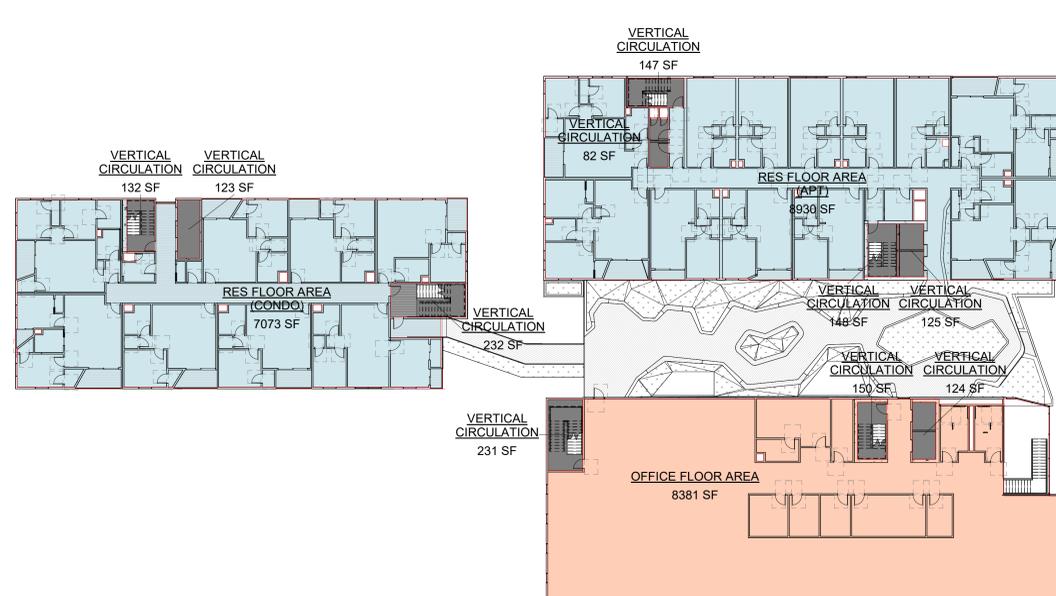
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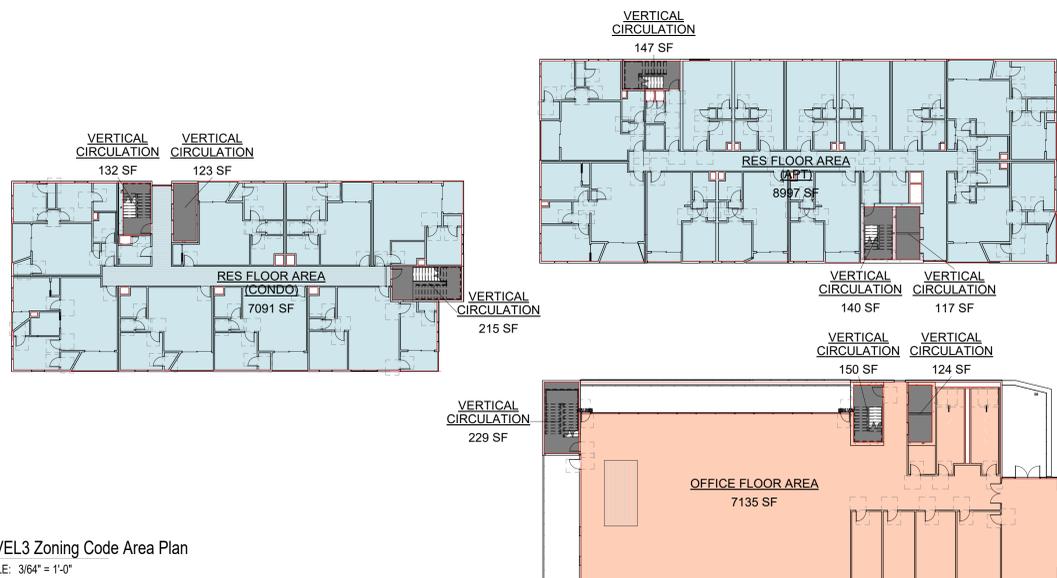
2 P1 Zoning Code Area Plan
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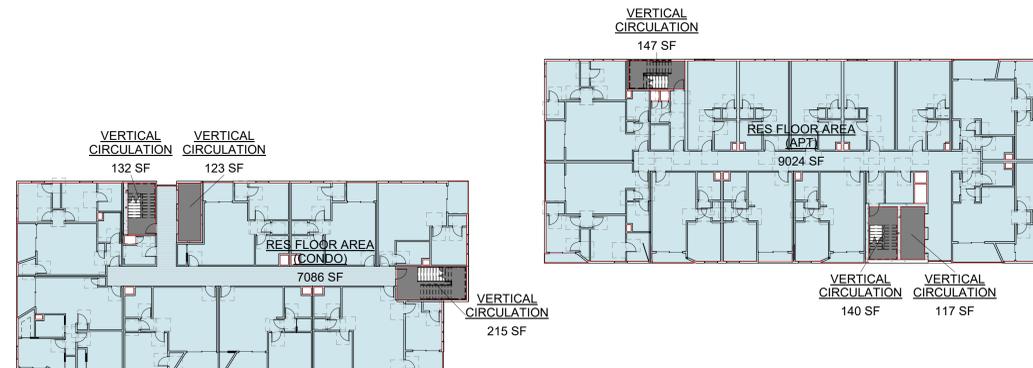
3 LEVEL1 Zoning Code Area Plan
SCALE: 3/64" = 1'-0"



4 LEVEL2 Zoning Code Area Plan
SCALE: 3/64" = 1'-0"



5 LEVEL3 Zoning Code Area Plan
SCALE: 3/64" = 1'-0"



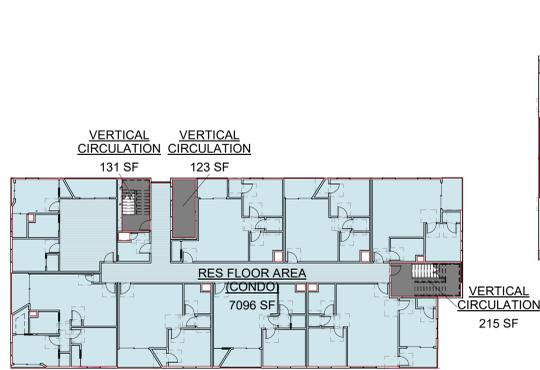
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EHRlich YANAI RHEE CHANNEY

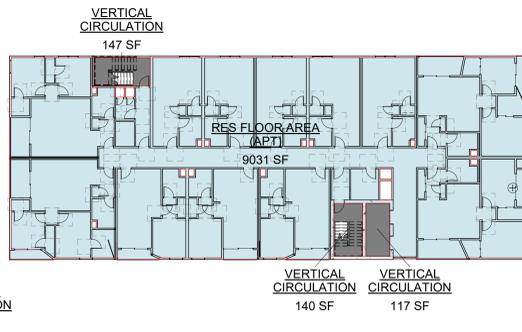
ARCHITECTS

10865 Washington Blvd
Culver City CA 90232
eyrc.com

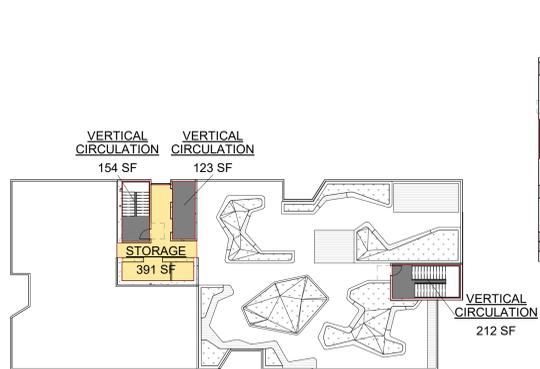
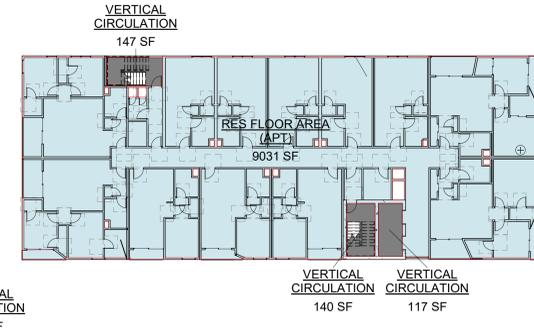
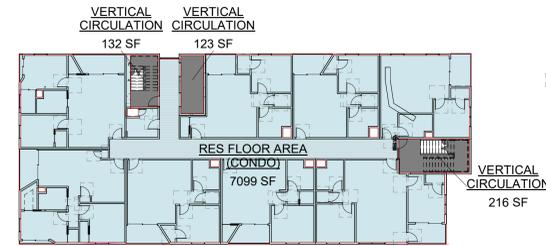
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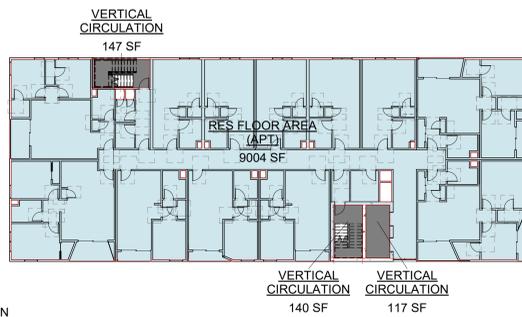
1 LEVEL5 Zoning Code Area Plan
SCALE: 3/64" = 1'-0"



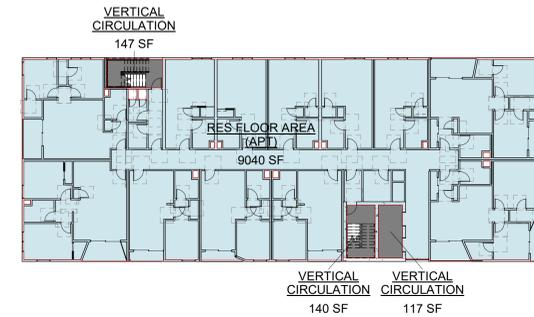
2 LEVEL6 Zoning Code Area Plan
SCALE: 3/64" = 1'-0"



3 LEVEL7 Zoning Code Area Plan
SCALE: 3/64" = 1'-0"



4 LEVEL8 Zoning Code Area Plan
SCALE: 3/64" = 1'-0"



Zoning Code Area Schedule		
Level	Area Type	Area
LEVEL1	Office Area	1116 SF
LEVEL2	Office Area	8381 SF
LEVEL3	Office Area	7135 SF
OFFICE FLOOR AREA: 3		26632 SF
P2	Building Common Area	33237 SF
P1	Building Common Area	33293 SF
LEVEL1	Building Common Area	1074 SF
LEVEL1	Building Common Area	8611 SF
PARKING: 4		7624 SF
LEVEL1	Floor Area	899 SF
LEVEL2	Floor Area	8930 SF
LEVEL3	Floor Area	8997 SF
LEVEL4	Floor Area	9024 SF
LEVEL5	Floor Area	9031 SF
LEVEL6	Floor Area	9031 SF
LEVEL7	Floor Area	9004 SF
LEVEL8	Floor Area	9040 SF
RES FLOOR AREA (APT): 8		64046 SF
LEVEL1	Floor Area	6907 SF
LEVEL2	Floor Area	7073 SF
LEVEL3	Floor Area	7091 SF
LEVEL4	Floor Area	7086 SF
LEVEL5	Floor Area	7098 SF
LEVEL6	Floor Area	7099 SF
RES FLOOR AREA (CONDO): 6		42383 SF
P1	Store Area	782 SF
P1	Store Area	374 SF
P1	Store Area	278 SF
LEVEL1	Store Area	84 SF
LEVEL7	Store Area	391 SF
STORAGE: 5		1909 SF

Zoning Code Area Schedule		
Level	Area Type	Area
P2	Major Vertical Penetration	133 SF
P2	Major Vertical Penetration	124 SF
P2	Major Vertical Penetration	150 SF
P2	Major Vertical Penetration	124 SF
P2	Major Vertical Penetration	148 SF
P2	Major Vertical Penetration	125 SF
P1	Major Vertical Penetration	124 SF
P1	Major Vertical Penetration	138 SF
P1	Major Vertical Penetration	125 SF
P1	Major Vertical Penetration	150 SF
LEVEL1	Major Vertical Penetration	148 SF
LEVEL1	Major Vertical Penetration	148 SF
LEVEL1	Major Vertical Penetration	125 SF
LEVEL1	Major Vertical Penetration	232 SF
LEVEL1	Major Vertical Penetration	133 SF
LEVEL1	Major Vertical Penetration	123 SF
LEVEL1	Major Vertical Penetration	230 SF
LEVEL1	Major Vertical Penetration	124 SF
LEVEL1	Major Vertical Penetration	150 SF
LEVEL2	Major Vertical Penetration	231 SF
LEVEL2	Major Vertical Penetration	150 SF
LEVEL2	Major Vertical Penetration	124 SF
LEVEL2	Major Vertical Penetration	125 SF
LEVEL2	Major Vertical Penetration	148 SF
LEVEL2	Major Vertical Penetration	147 SF
LEVEL2	Major Vertical Penetration	82 SF
LEVEL2	Major Vertical Penetration	123 SF
P1	Major Vertical Penetration	132 SF
LEVEL2	Major Vertical Penetration	232 SF
LEVEL3	Major Vertical Penetration	132 SF
LEVEL3	Major Vertical Penetration	123 SF
LEVEL3	Major Vertical Penetration	147 SF
LEVEL3	Major Vertical Penetration	117 SF
LEVEL3	Major Vertical Penetration	140 SF
LEVEL3	Major Vertical Penetration	124 SF
LEVEL3	Major Vertical Penetration	150 SF
LEVEL3	Major Vertical Penetration	229 SF
LEVEL3	Major Vertical Penetration	215 SF
LEVEL4	Major Vertical Penetration	117 SF
LEVEL4	Major Vertical Penetration	140 SF
LEVEL4	Major Vertical Penetration	147 SF
LEVEL4	Major Vertical Penetration	215 SF
LEVEL4	Major Vertical Penetration	132 SF
LEVEL4	Major Vertical Penetration	123 SF
LEVEL5	Major Vertical Penetration	123 SF

Zoning Code Area Schedule		
Level	Area Type	Area
LEVEL5	Major Vertical Penetration	131 SF
LEVEL5	Major Vertical Penetration	215 SF
LEVEL5	Major Vertical Penetration	117 SF
LEVEL5	Major Vertical Penetration	140 SF
LEVEL5	Major Vertical Penetration	147 SF
LEVEL5	Major Vertical Penetration	132 SF
LEVEL6	Major Vertical Penetration	123 SF
LEVEL6	Major Vertical Penetration	216 SF
LEVEL6	Major Vertical Penetration	117 SF
LEVEL6	Major Vertical Penetration	140 SF
LEVEL6	Major Vertical Penetration	147 SF
P1	Major Vertical Penetration	138 SF
LEVEL7	Major Vertical Penetration	212 SF
LEVEL7	Major Vertical Penetration	140 SF
LEVEL7	Major Vertical Penetration	117 SF
LEVEL7	Major Vertical Penetration	147 SF
LEVEL7	Major Vertical Penetration	123 SF
LEVEL7	Major Vertical Penetration	154 SF
LEVEL8	Major Vertical Penetration	117 SF
LEVEL8	Major Vertical Penetration	140 SF
LEVEL8	Major Vertical Penetration	147 SF
LEVEL8	Major Vertical Penetration	9823 SF
VERTICAL CIRCULATION: 67		202077 SF
GRAND TOTAL		202077 SF

FLOOR AREA DEFINED PER L.A. ZONING CODE SECTION 12.03, DOCUMENT NO. P/BC 2002-021

SEC. 12.03 OF THE ZONING CODE DEFINES FLOOR AREA:

Is that area in square feet confined within the exterior walls of a building, but not including the area of the following: exterior walls, stairways, shafts, rooms housing building-operating equipment or machinery, parking areas with associated driveways and ramps, space for the landing and storage of helicopters, and basement storage areas.

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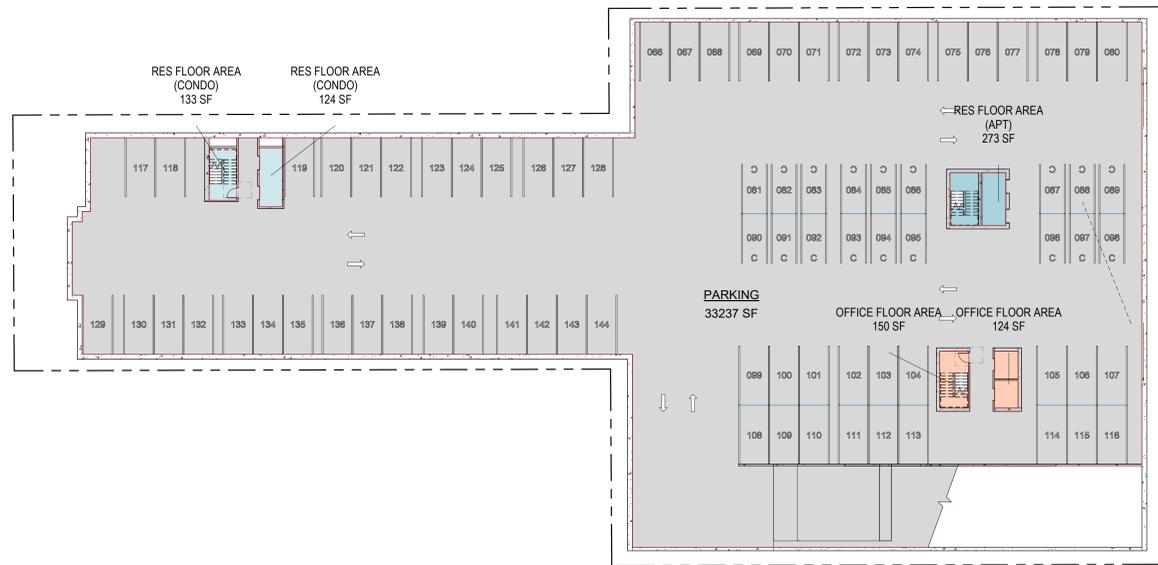
ZONING CODE FLOOR AREA CALCULATION DIAGRAMS

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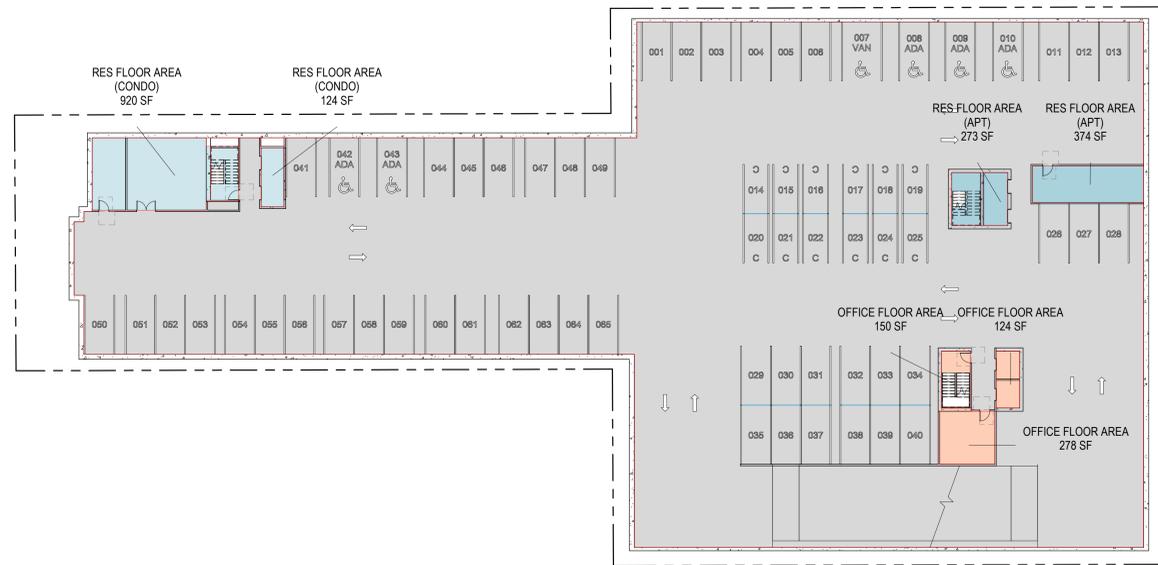
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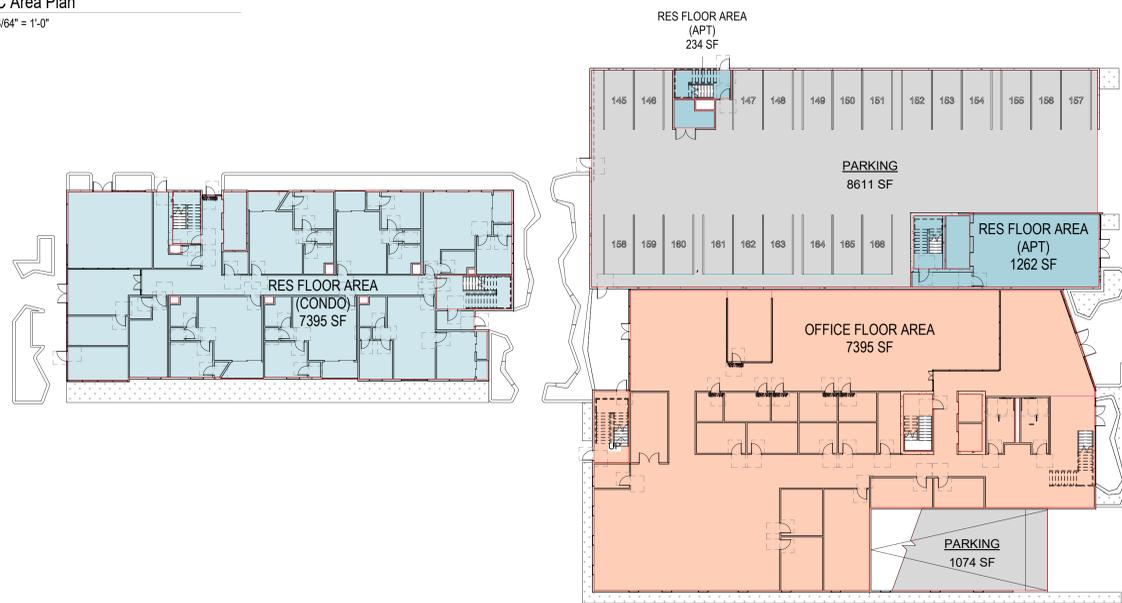
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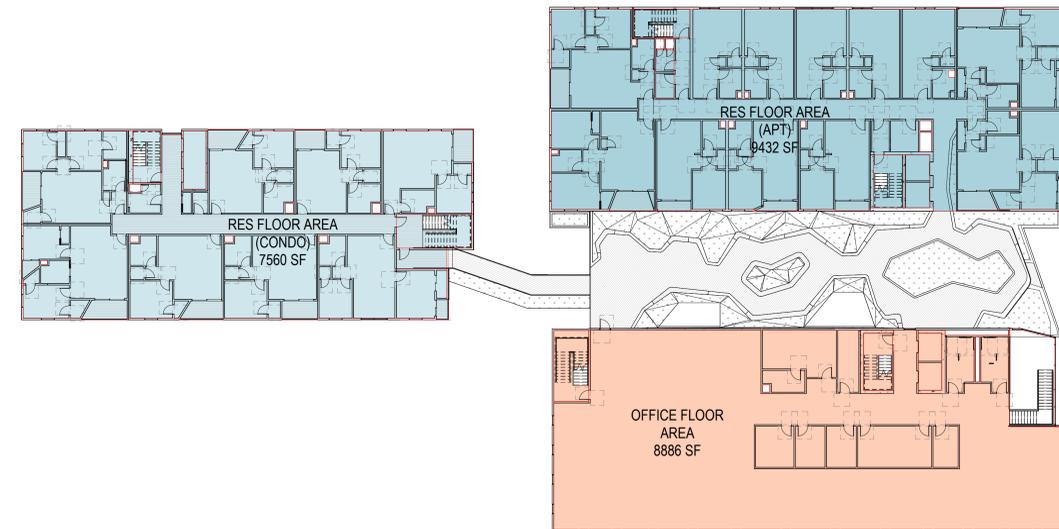
1 P2 CBC Area Plan
SCALE: 3/64" = 1'-0"



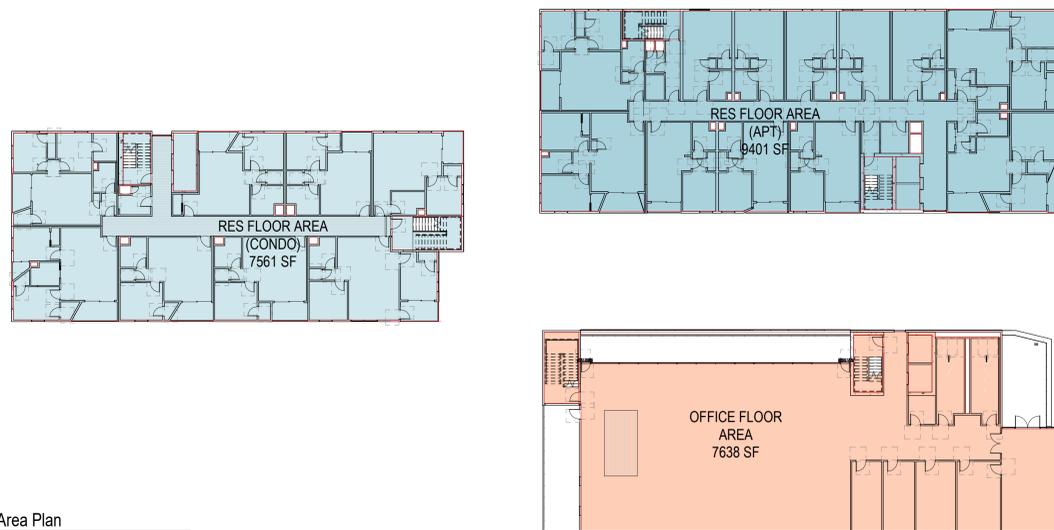
2 P1 CBC Area Plan
SCALE: 3/64" = 1'-0"



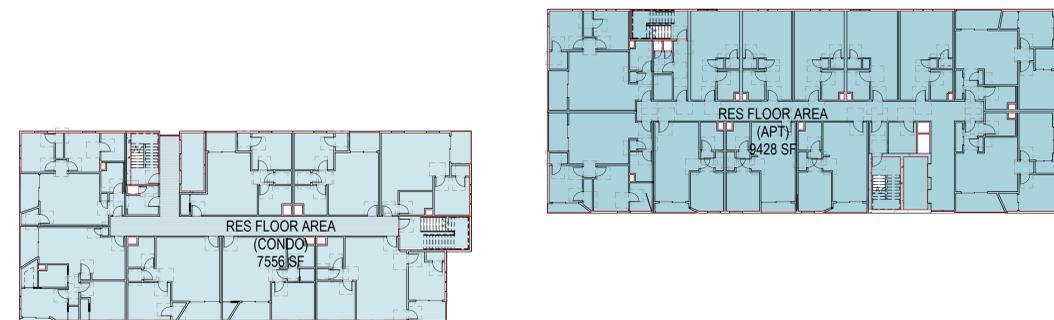
3 LEVEL1 CBC Area Plan
SCALE: 3/64" = 1'-0"



4 LEVEL2 CBC Area Plan
SCALE: 3/64" = 1'-0"



5 LEVEL3 CBC Area Plan
SCALE: 3/64" = 1'-0"



6 LEVEL4 CBC Area Plan
SCALE: 3/64" = 1'-0"

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CBC BUILDING AREA
CALCULATION DIAGRAMS

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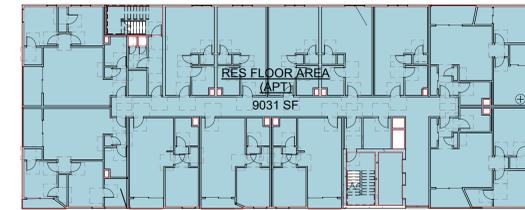
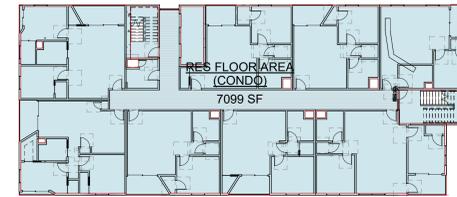
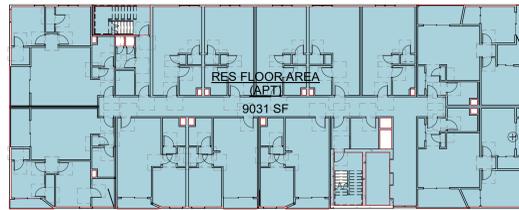
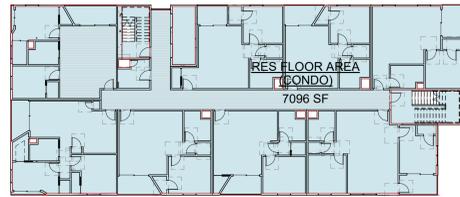
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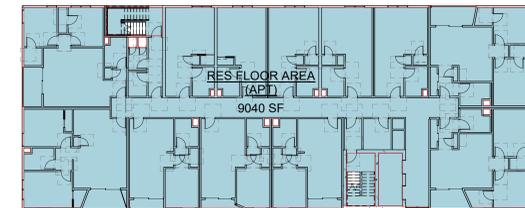
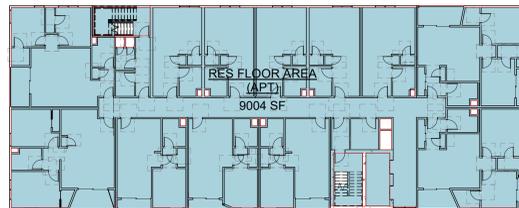
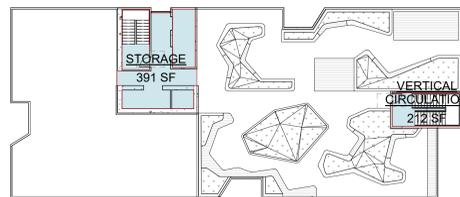
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1 LEVEL5 CBC Area Plan
SCALE: 3/64" = 1'-0"

2 LEVEL6 Area Plan
SCALE: 3/64" = 1'-0"



3 LEVEL7 CBC Area Plan
SCALE: 3/64" = 1'-0"

4 LEVEL8 CBC Area Plan
SCALE: 3/64" = 1'-0"

CBC Area Schedule			
Level	Unit Type	Area Type	Area
P2	Office Floor Area	Major Vertical Penetration	150 SF
P2	Office Floor Area	Major Vertical Penetration	124 SF
P1	Office Floor Area	Store Area	278 SF
P1	Office Floor Area	Major Vertical Penetration	124 SF
P1	Office Floor Area	Major Vertical Penetration	150 SF
LEVEL1	Office Floor Area	Office Area	11116 SF
LEVEL1	Office Floor Area	Major Vertical Penetration	228 SF
LEVEL1	Office Floor Area	Major Vertical Penetration	124 SF
LEVEL1	Office Floor Area	Major Vertical Penetration	150 SF
LEVEL2	Office Floor Area	Office Area	8381 SF
LEVEL2	Office Floor Area	Major Vertical Penetration	221 SF
LEVEL2	Office Floor Area	Major Vertical Penetration	158 SF
LEVEL2	Office Floor Area	Major Vertical Penetration	124 SF
LEVEL3	Office Floor Area	Office Area	7135 SF
LEVEL3	Office Floor Area	Major Vertical Penetration	124 SF
LEVEL3	Office Floor Area	Major Vertical Penetration	150 SF
LEVEL3	Office Floor Area	Major Vertical Penetration	229 SF
LEVEL3	Office Floor Area	Major Vertical Penetration	28969 SF
Office Floor Area	17		
P2	Parking	Building Common Area	33237 SF
P1	Parking	Building Common Area	33293 SF
LEVEL1	Parking	Building Common Area	1074 SF
LEVEL1	Parking	Building Common Area	8611 SF
Parking	4		76214 SF

CBC Area Schedule			
Level	Unit Type	Area Type	Area
P2	Res Floor Area (Apt)	Major Vertical Penetration	148 SF
P2	Res Floor Area (Apt)	Major Vertical Penetration	125 SF
P1	Res Floor Area (Apt)	Store Area	374 SF
P1	Res Floor Area (Apt)	Major Vertical Penetration	148 SF
P1	Res Floor Area (Apt)	Major Vertical Penetration	125 SF
LEVEL1	Res Floor Area (Apt)	Floor Area	899 SF
LEVEL1	Res Floor Area (Apt)	Major Vertical Penetration	148 SF
LEVEL1	Res Floor Area (Apt)	Major Vertical Penetration	148 SF
LEVEL1	Res Floor Area (Apt)	Major Vertical Penetration	125 SF
LEVEL1	Res Floor Area (Apt)	Store Area	84 SF
LEVEL2	Res Floor Area (Apt)	Floor Area	8930 SF
LEVEL2	Res Floor Area (Apt)	Major Vertical Penetration	125 SF
LEVEL2	Res Floor Area (Apt)	Major Vertical Penetration	148 SF
LEVEL2	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
LEVEL2	Res Floor Area (Apt)	Major Vertical Penetration	82 SF
LEVEL3	Res Floor Area (Apt)	Floor Area	8997 SF
LEVEL3	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
LEVEL3	Res Floor Area (Apt)	Major Vertical Penetration	117 SF
LEVEL3	Res Floor Area (Apt)	Major Vertical Penetration	140 SF
LEVEL4	Res Floor Area (Apt)	Floor Area	9024 SF
LEVEL4	Res Floor Area (Apt)	Major Vertical Penetration	117 SF
LEVEL4	Res Floor Area (Apt)	Major Vertical Penetration	140 SF
LEVEL4	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
LEVEL4	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
LEVEL4	Res Floor Area (Apt)	Floor Area	9031 SF
LEVEL5	Res Floor Area (Apt)	Major Vertical Penetration	117 SF
LEVEL5	Res Floor Area (Apt)	Major Vertical Penetration	140 SF
LEVEL5	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
LEVEL5	Res Floor Area (Apt)	Floor Area	9031 SF
LEVEL6	Res Floor Area (Apt)	Major Vertical Penetration	117 SF
LEVEL6	Res Floor Area (Apt)	Major Vertical Penetration	140 SF
LEVEL6	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
LEVEL6	Res Floor Area (Apt)	Floor Area	9040 SF
LEVEL7	Res Floor Area (Apt)	Major Vertical Penetration	140 SF
LEVEL7	Res Floor Area (Apt)	Major Vertical Penetration	117 SF
LEVEL7	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
LEVEL7	Res Floor Area (Apt)	Floor Area	9040 SF
LEVEL8	Res Floor Area (Apt)	Major Vertical Penetration	140 SF
LEVEL8	Res Floor Area (Apt)	Major Vertical Penetration	147 SF
Res Floor Area (Apt)	39		68404 SF

CBC Area Schedule			
Level	Unit Type	Area Type	Area
P2	Res Floor Area (Condo)	Major Vertical Penetration	133 SF
P2	Res Floor Area (Condo)	Major Vertical Penetration	124 SF
P1	Res Floor Area (Condo)	Store Area	782 SF
P1	Res Floor Area (Condo)	Major Vertical Penetration	124 SF
P1	Res Floor Area (Condo)	Major Vertical Penetration	138 SF
LEVEL1	Res Floor Area (Condo)	Floor Area	6907 SF
LEVEL1	Res Floor Area (Condo)	Major Vertical Penetration	232 SF
LEVEL1	Res Floor Area (Condo)	Major Vertical Penetration	133 SF
LEVEL1	Res Floor Area (Condo)	Major Vertical Penetration	123 SF
LEVEL2	Res Floor Area (Condo)	Floor Area	7073 SF
LEVEL2	Res Floor Area (Condo)	Major Vertical Penetration	123 SF
LEVEL2	Res Floor Area (Condo)	Major Vertical Penetration	132 SF
LEVEL2	Res Floor Area (Condo)	Major Vertical Penetration	232 SF
LEVEL3	Res Floor Area (Condo)	Floor Area	7091 SF
LEVEL3	Res Floor Area (Condo)	Major Vertical Penetration	132 SF
LEVEL3	Res Floor Area (Condo)	Major Vertical Penetration	123 SF
LEVEL3	Res Floor Area (Condo)	Major Vertical Penetration	215 SF
LEVEL4	Res Floor Area (Condo)	Floor Area	7086 SF
LEVEL4	Res Floor Area (Condo)	Major Vertical Penetration	215 SF
LEVEL4	Res Floor Area (Condo)	Major Vertical Penetration	132 SF
LEVEL4	Res Floor Area (Condo)	Major Vertical Penetration	123 SF
LEVEL5	Res Floor Area (Condo)	Floor Area	7096 SF
LEVEL5	Res Floor Area (Condo)	Major Vertical Penetration	123 SF
LEVEL5	Res Floor Area (Condo)	Major Vertical Penetration	131 SF
LEVEL5	Res Floor Area (Condo)	Major Vertical Penetration	215 SF
LEVEL6	Res Floor Area (Condo)	Floor Area	7098 SF
LEVEL6	Res Floor Area (Condo)	Major Vertical Penetration	132 SF
LEVEL6	Res Floor Area (Condo)	Major Vertical Penetration	123 SF
LEVEL6	Res Floor Area (Condo)	Major Vertical Penetration	216 SF
LEVEL7	Res Floor Area (Condo)	Store Area	391 SF
LEVEL7	Res Floor Area (Condo)	Major Vertical Penetration	212 SF
LEVEL7	Res Floor Area (Condo)	Major Vertical Penetration	123 SF
LEVEL7	Res Floor Area (Condo)	Major Vertical Penetration	154 SF
Res Floor Area (Condo)	33		47389 SF
GRAND TOTAL			220917 SF

BUILDING AREA DEFINED PER CALIFORNIA BUILDING CODE CHAPTER 2 DEFINITIONS SECTION 201 GENERAL

AREA, BUILDING. The area included within surrounding exterior walls (or exterior walls and fire walls) exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.

SHAFTS. An enclosed space extending through one or more stories of a building, connecting vertical openings in successive floors, or floors and roof.

COURTS. An open, uncovered space, unobstructed to the sky, bounded on three or more sides by exterior building walls or other enclosing devices.

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CBC BUILDING AREA CALCULATION DIAGRAMS

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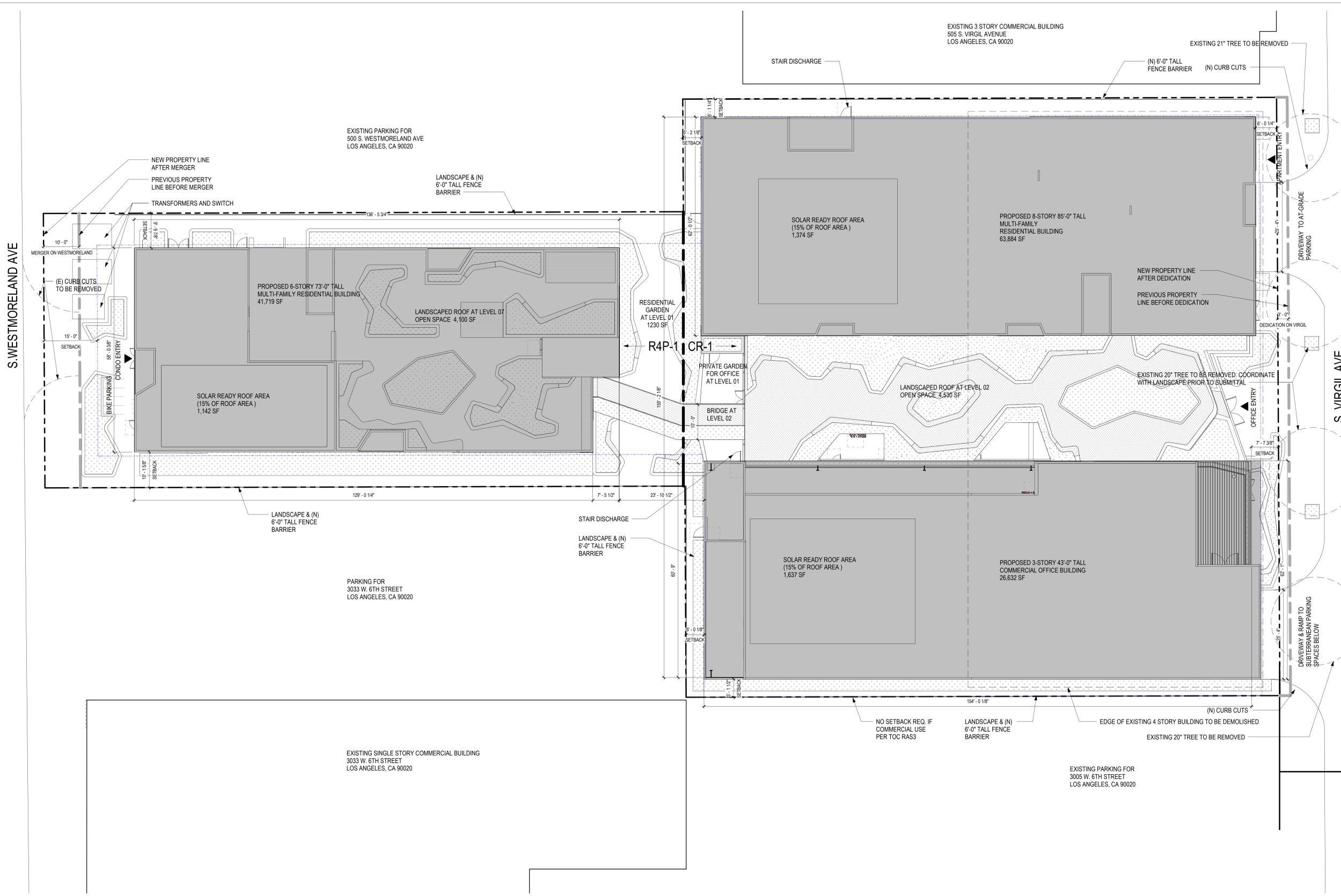
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PLOT PLAN

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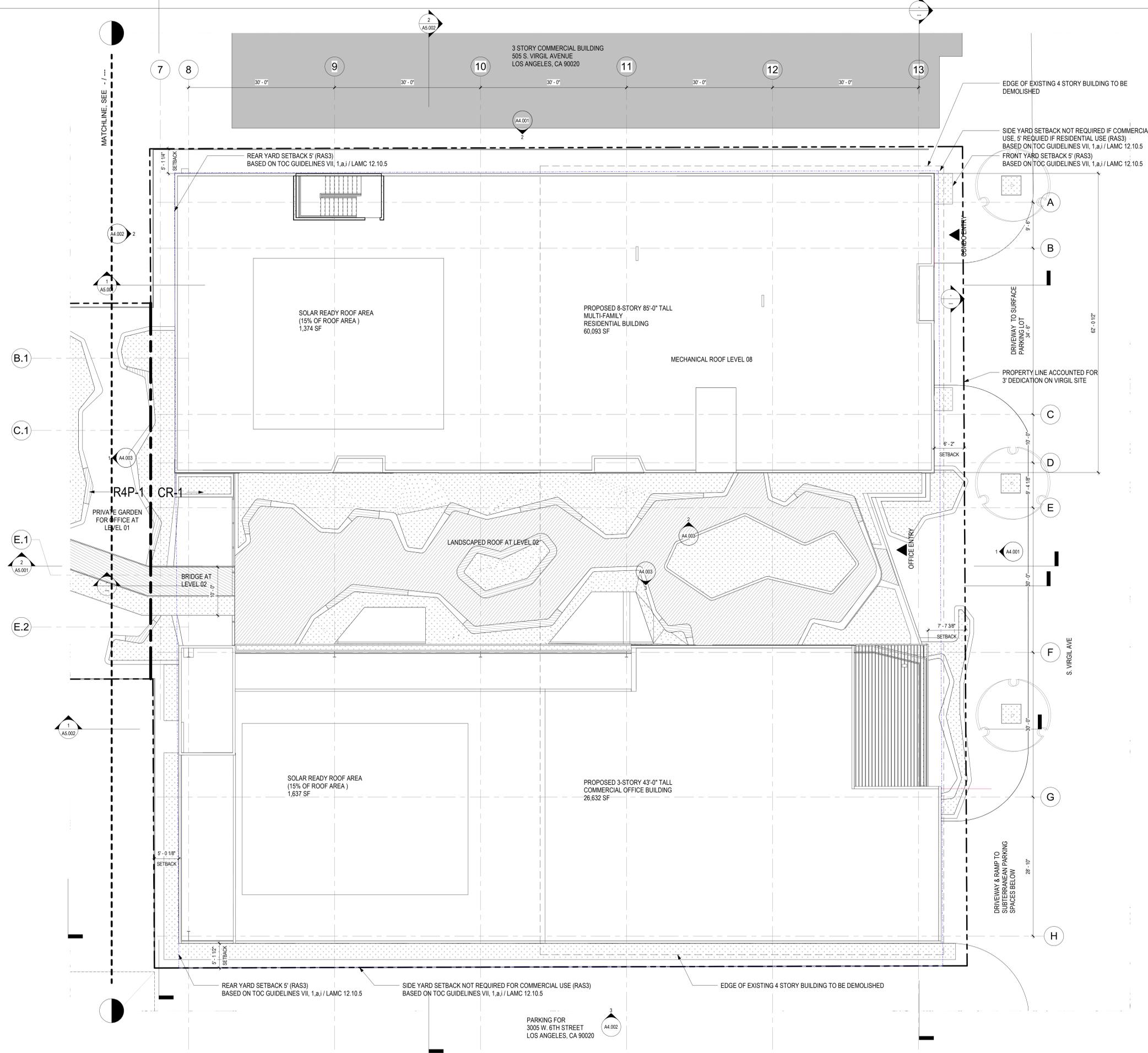
SITE PLAN EAST

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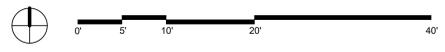
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A1.001



1 PLOT PLAN - VIRGIL SITE
SCALE: 1/8" = 1'-0"



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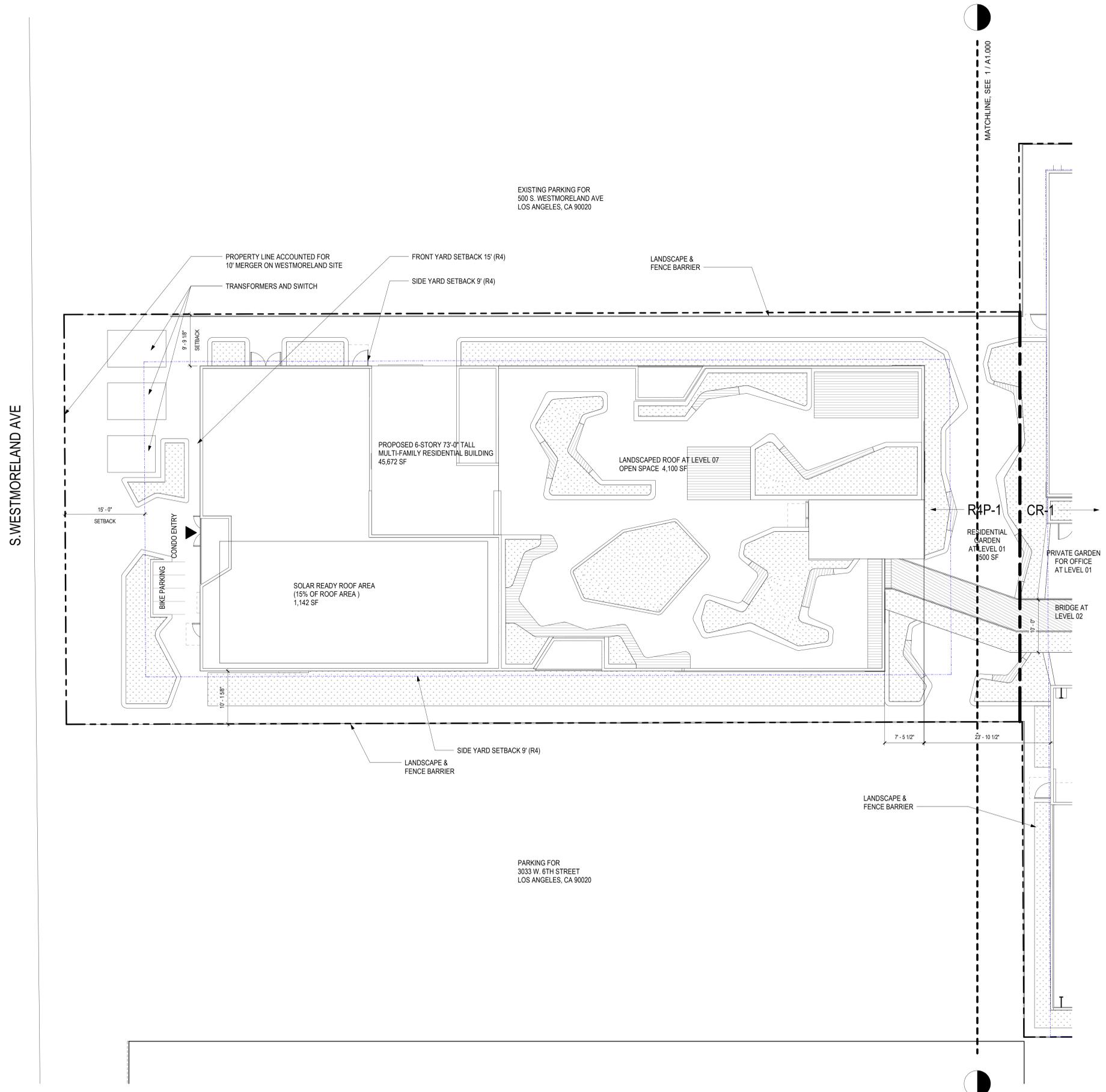
SITE PLAN WEST

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A1.002



2 PLOT PLAN - WESTMORELAND SITE.
SCALE: 1/8" = 1'-0"



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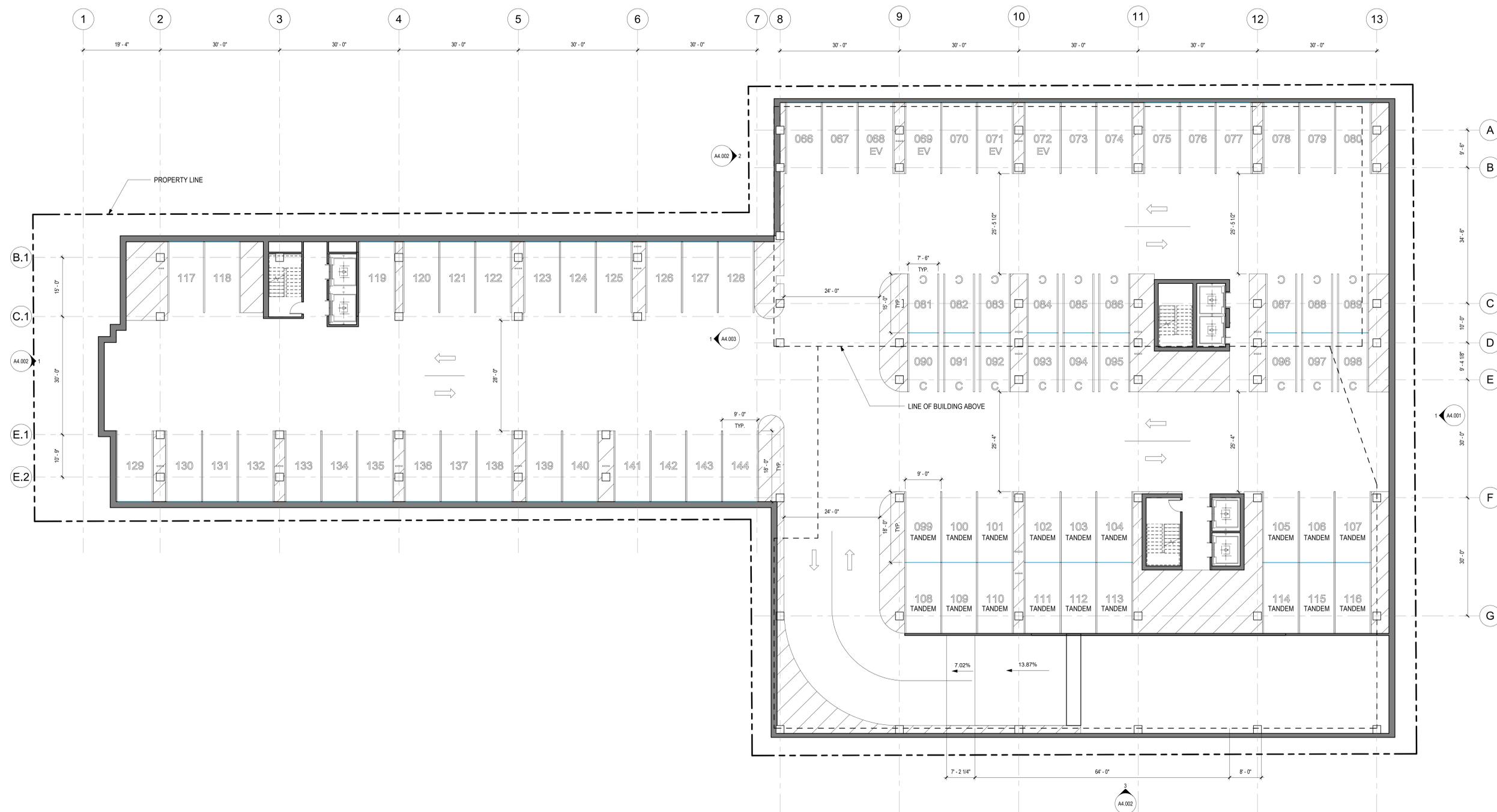
PLAN LEVEL P2

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A2.001



1 FLOOR PLAN - P2
SCALE: 3/32" = 1'-0"

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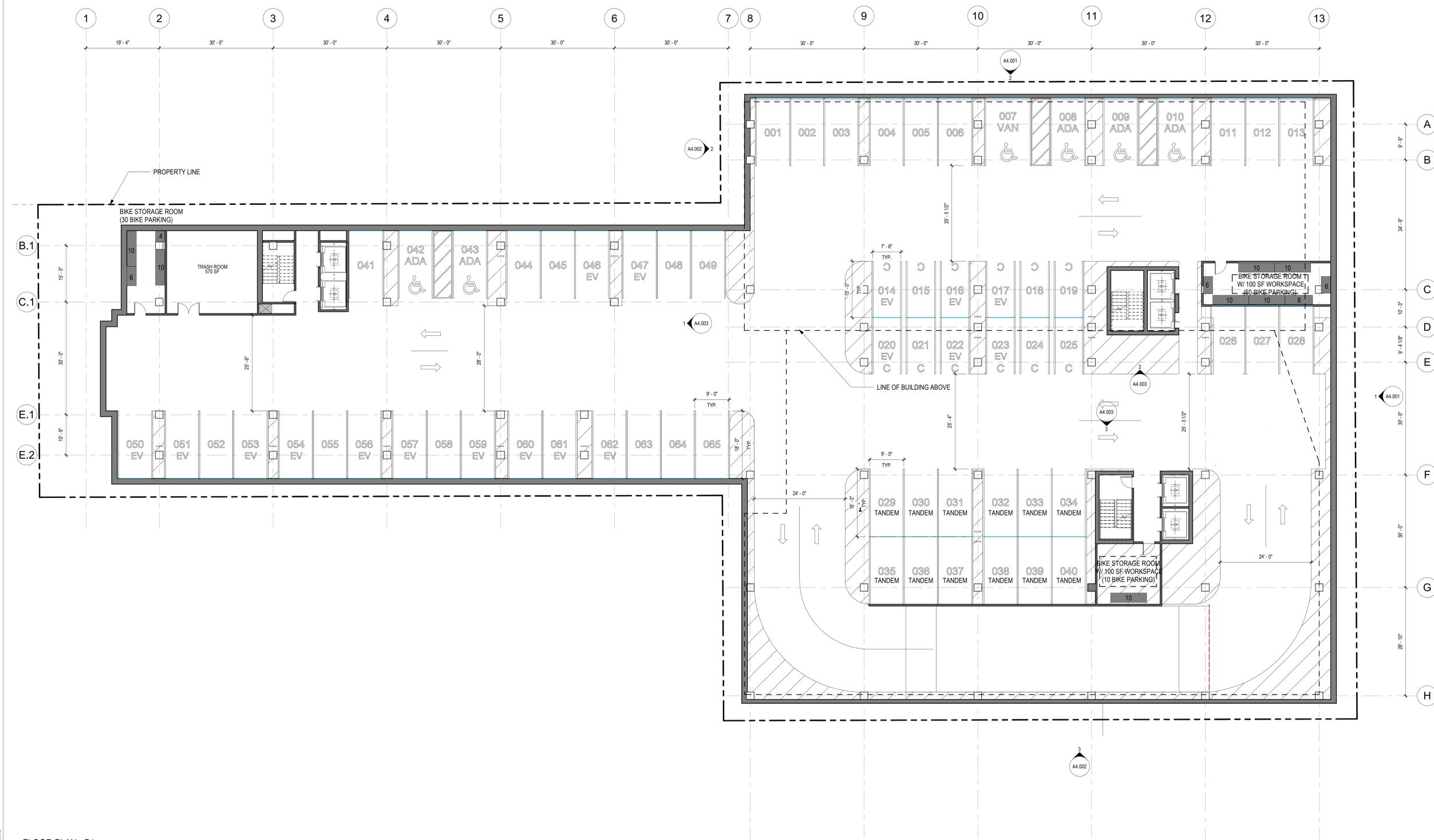
PLAN LEVEL P1

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A2.002



2 FLOOR PLAN - P1
SCALE: 3/32" = 1'-0"



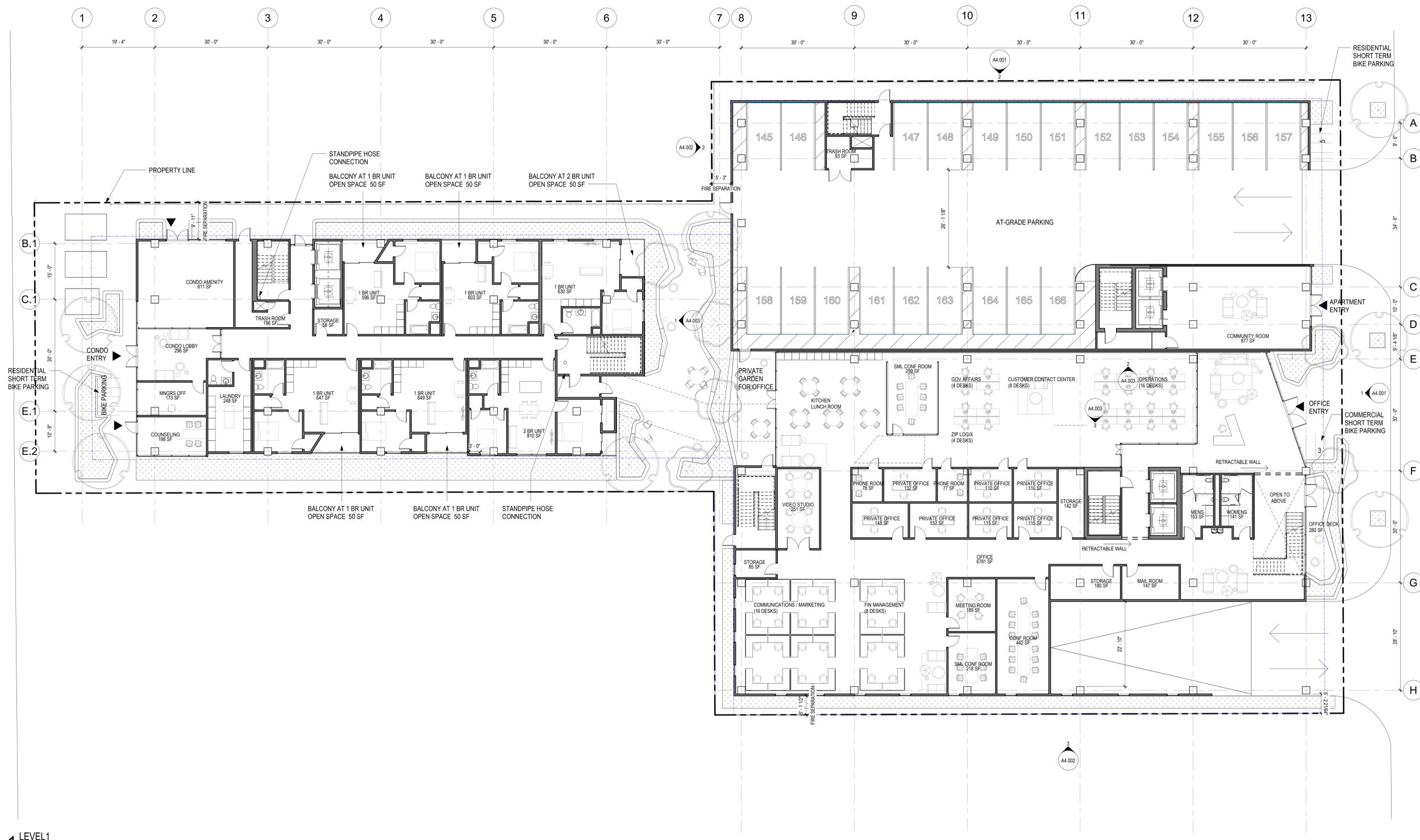
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PLAN LEVEL 1

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1 LEVEL 1
 SCALE: 3/32" = 1'-0"

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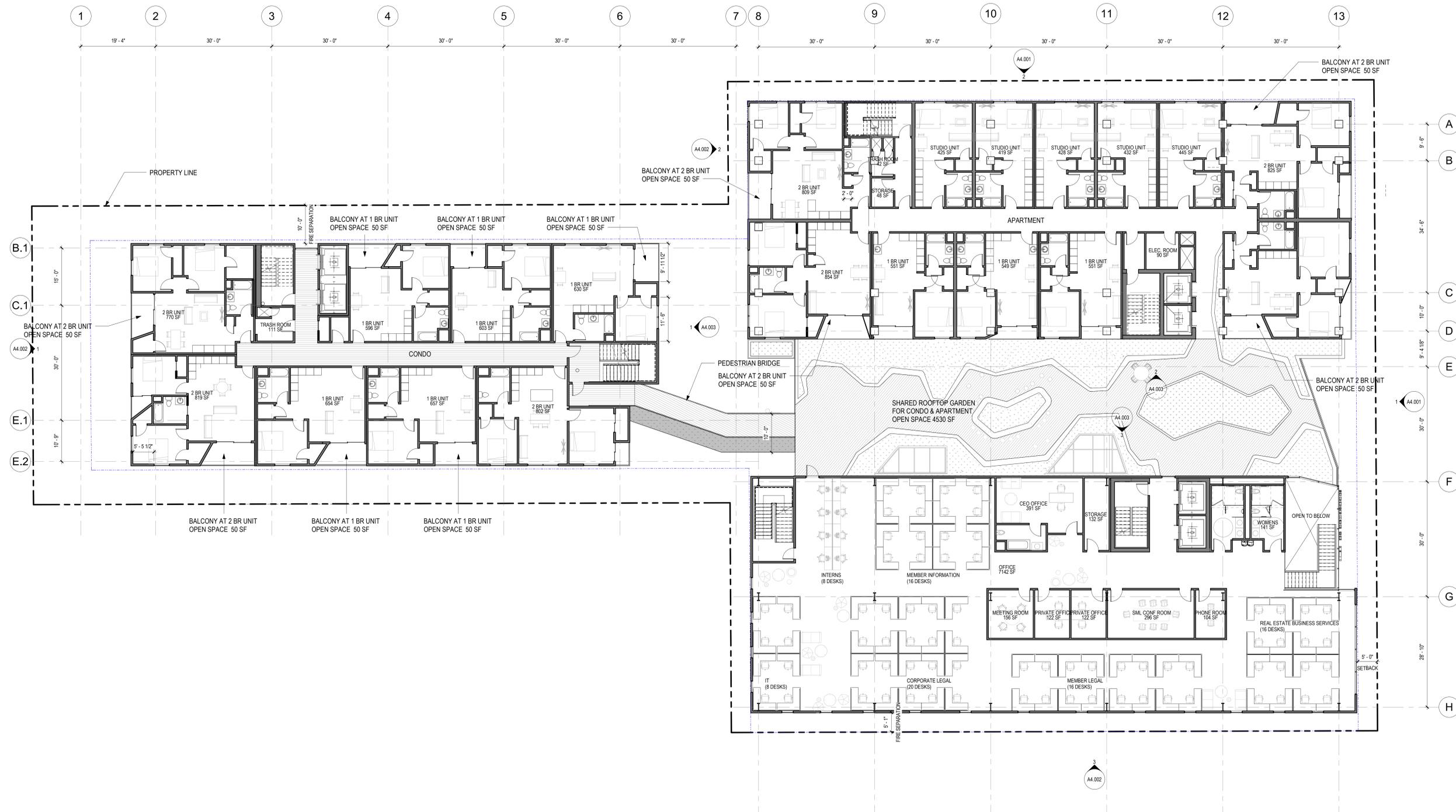
PLAN LEVEL 2

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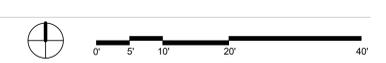
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1 LEVEL 2
SCALE: 3/32" = 1'-0"



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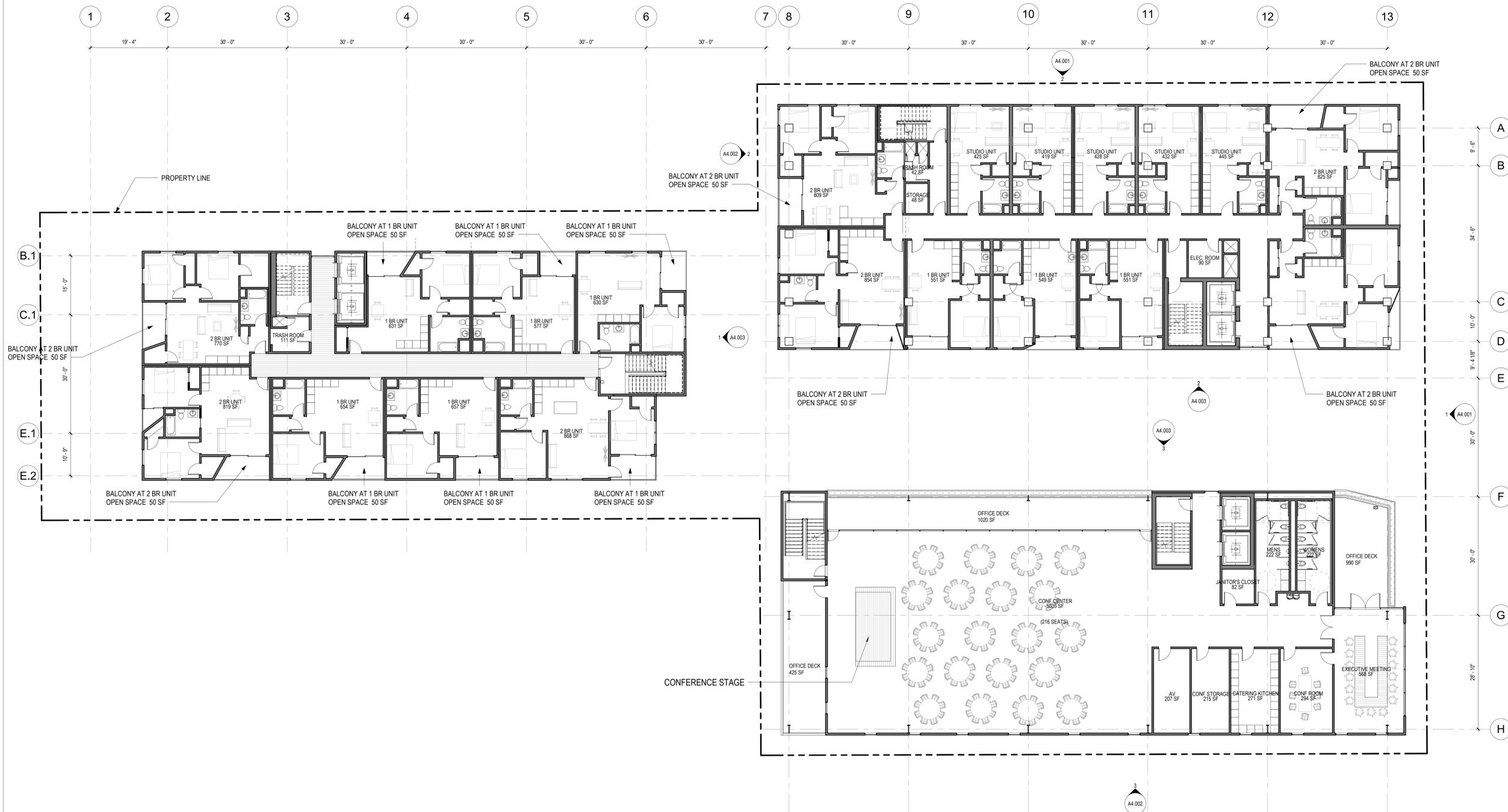
PLAN LEVEL 3

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A2.005



1 LEVEL 3
SCALE: 3/32" = 1'-0"



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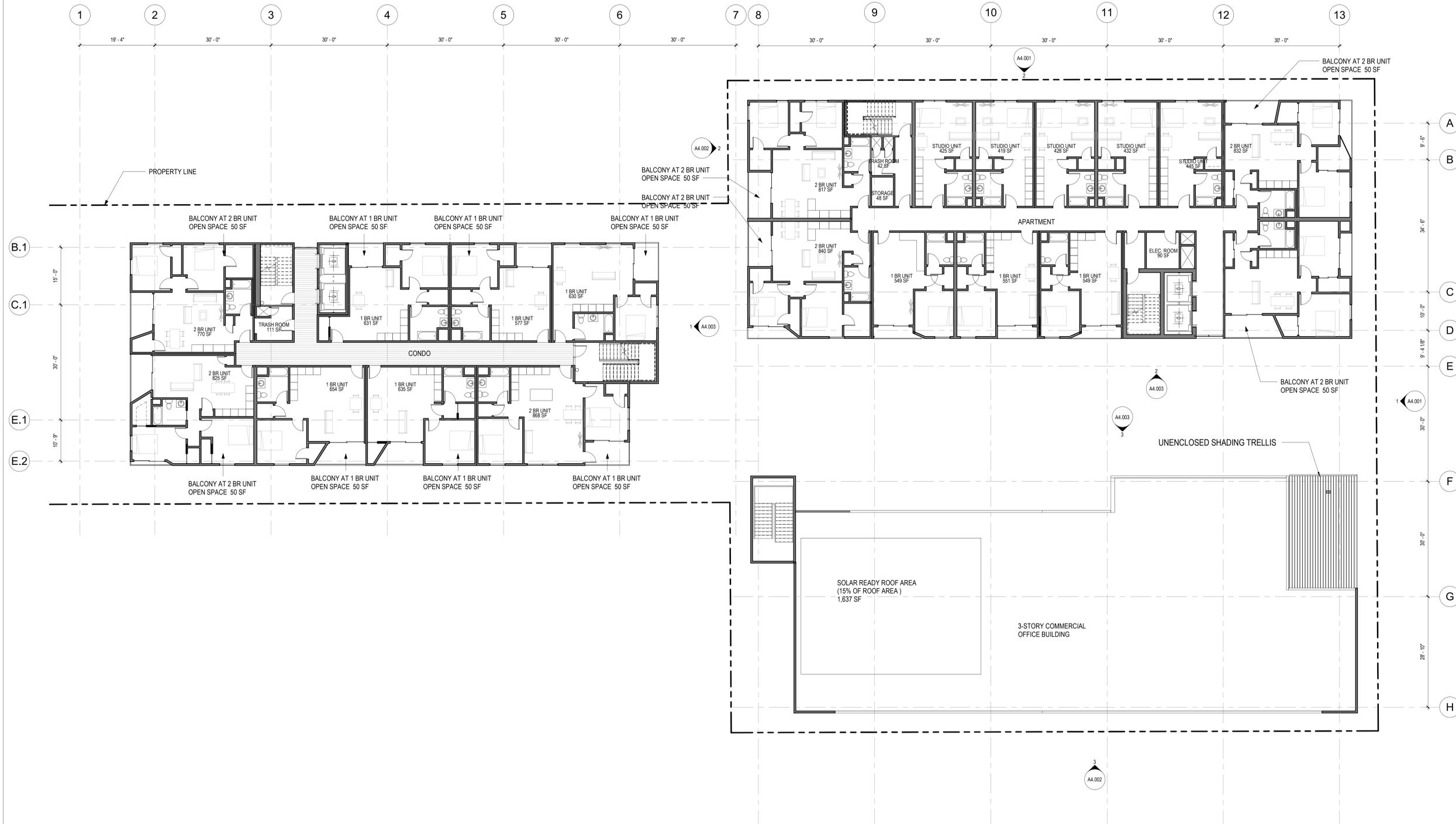
PLAN LEVEL 4

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A2.006



1 LEVEL 4
SCALE: 3/32" = 1'-0"

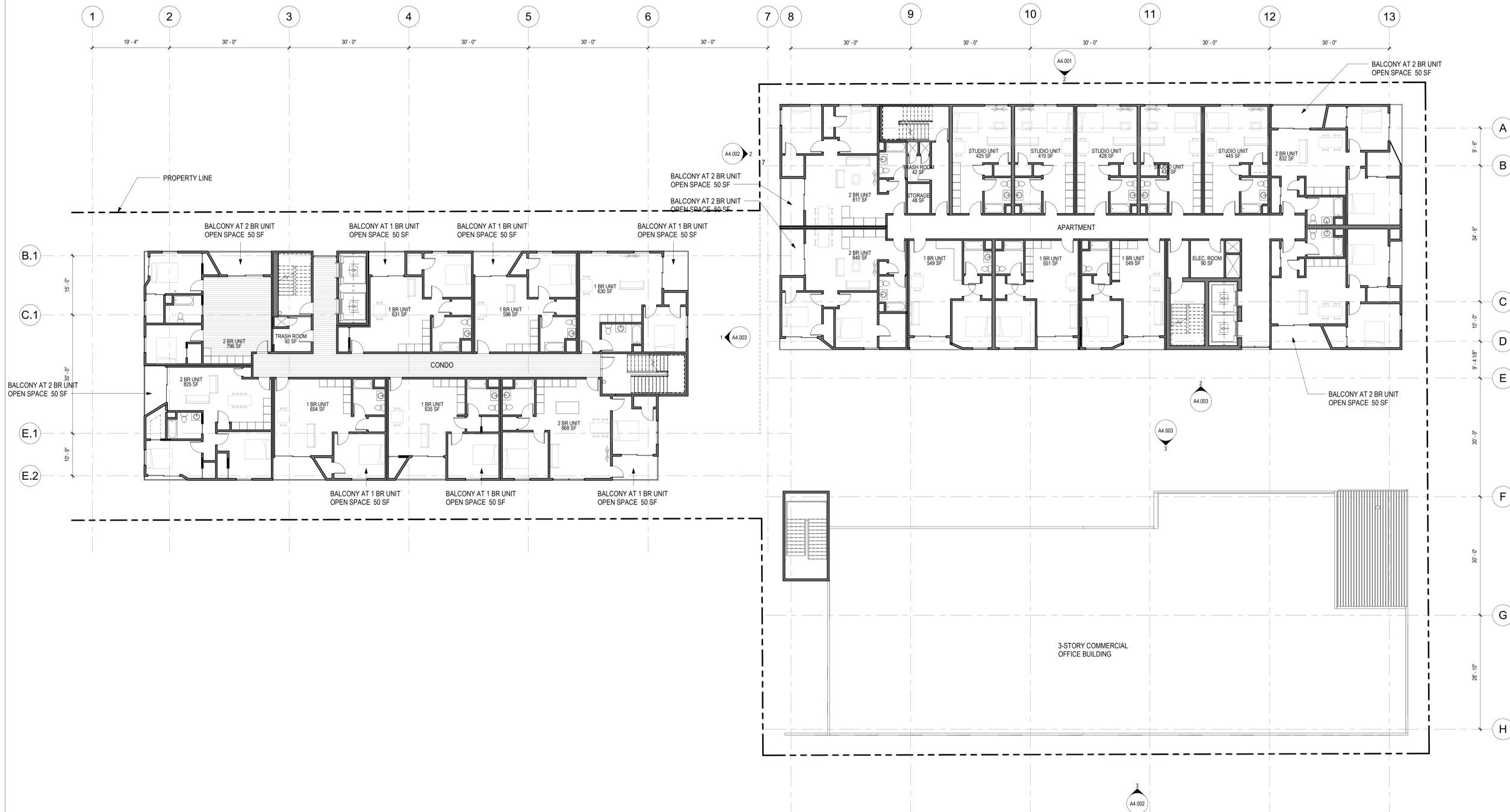


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PLAN LEVEL 5

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1 LEVEL 5
SCALE: 3/32" = 1'-0"



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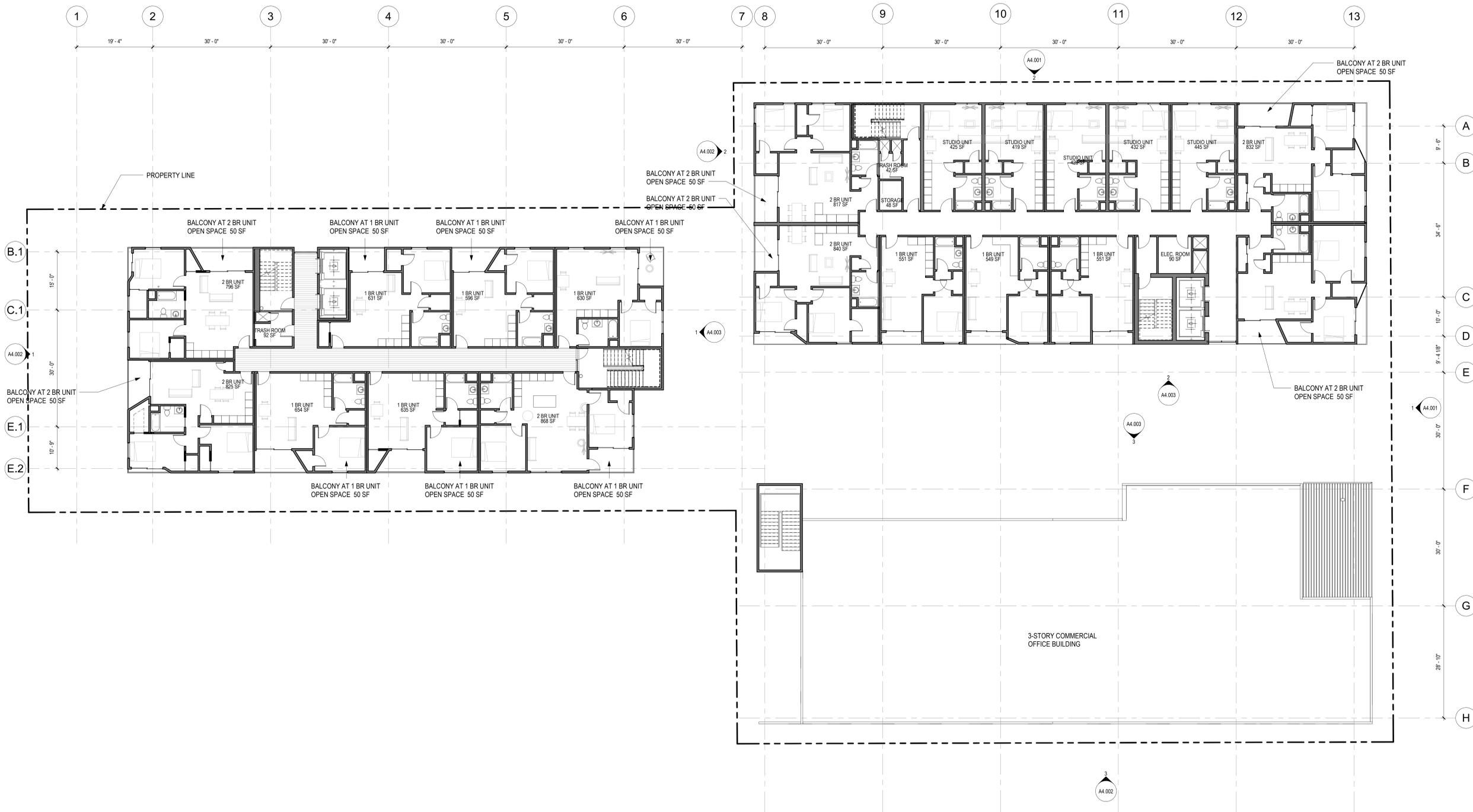
PLAN LEVEL 6

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A2.008



1 LEVEL 6
SCALE: 3/32" = 1'-0"



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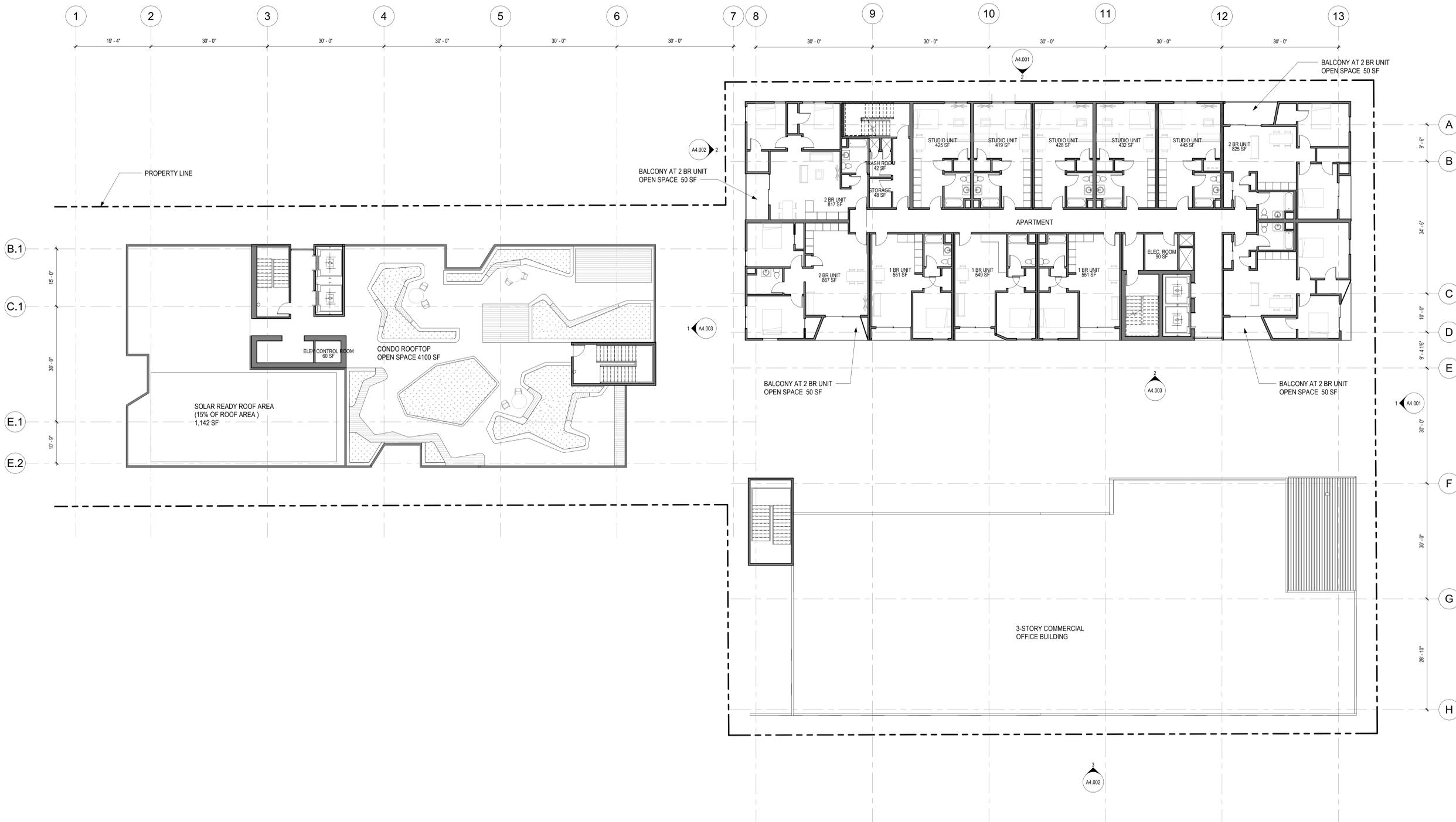
PLAN LEVEL 7

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A2.009



1 LEVEL 7
SCALE: 3/32" = 1'-0"

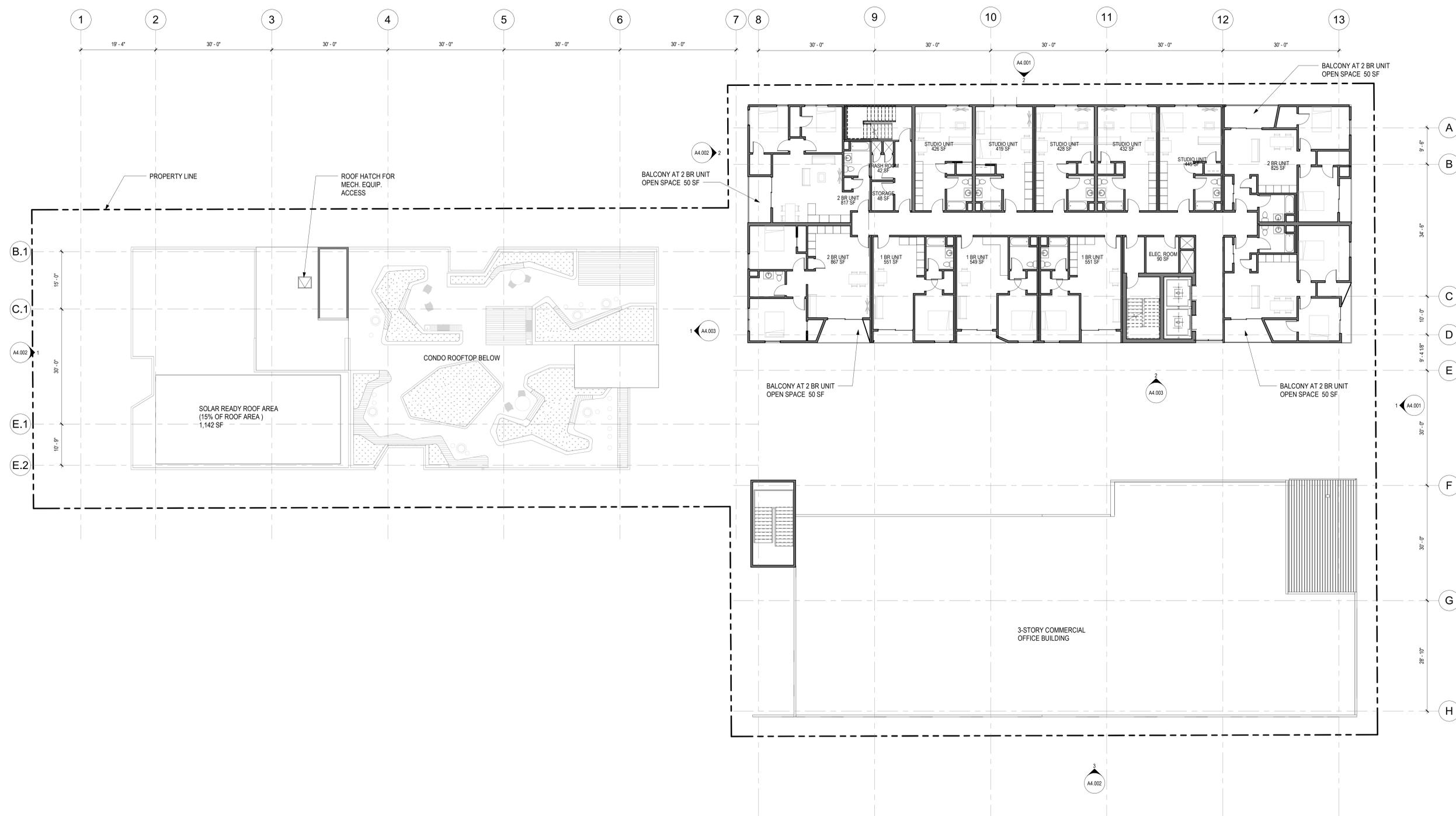


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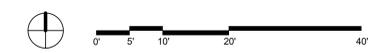
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1 LEVEL 8
SCALE: 3/32" = 1'-0"



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PLAN LEVEL 8

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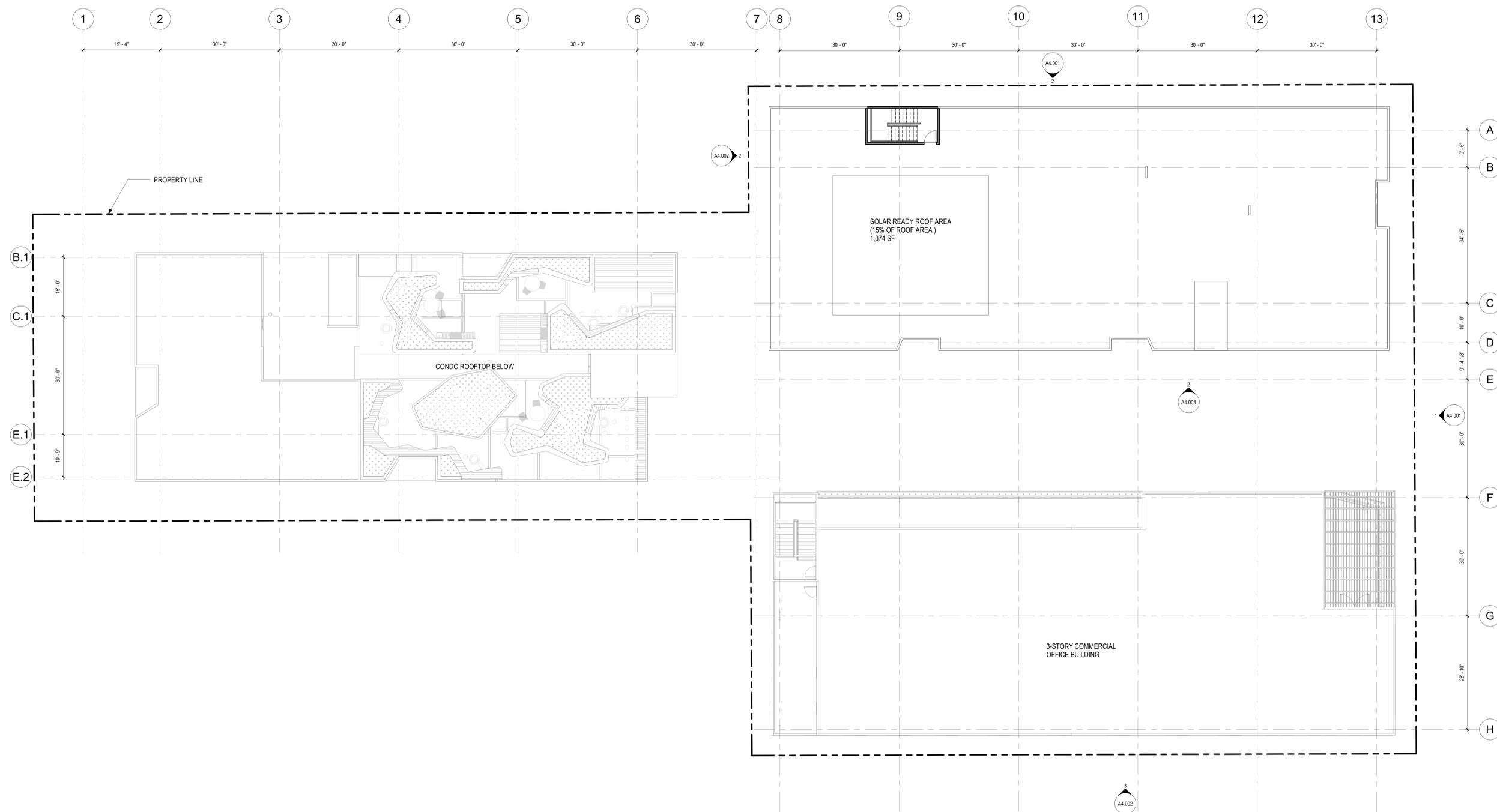
PLAN LEVEL ROOF

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JOB NUMBER: 000

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A2.011



LEVEL 9
SCALE: 3/32" = 1'-0"

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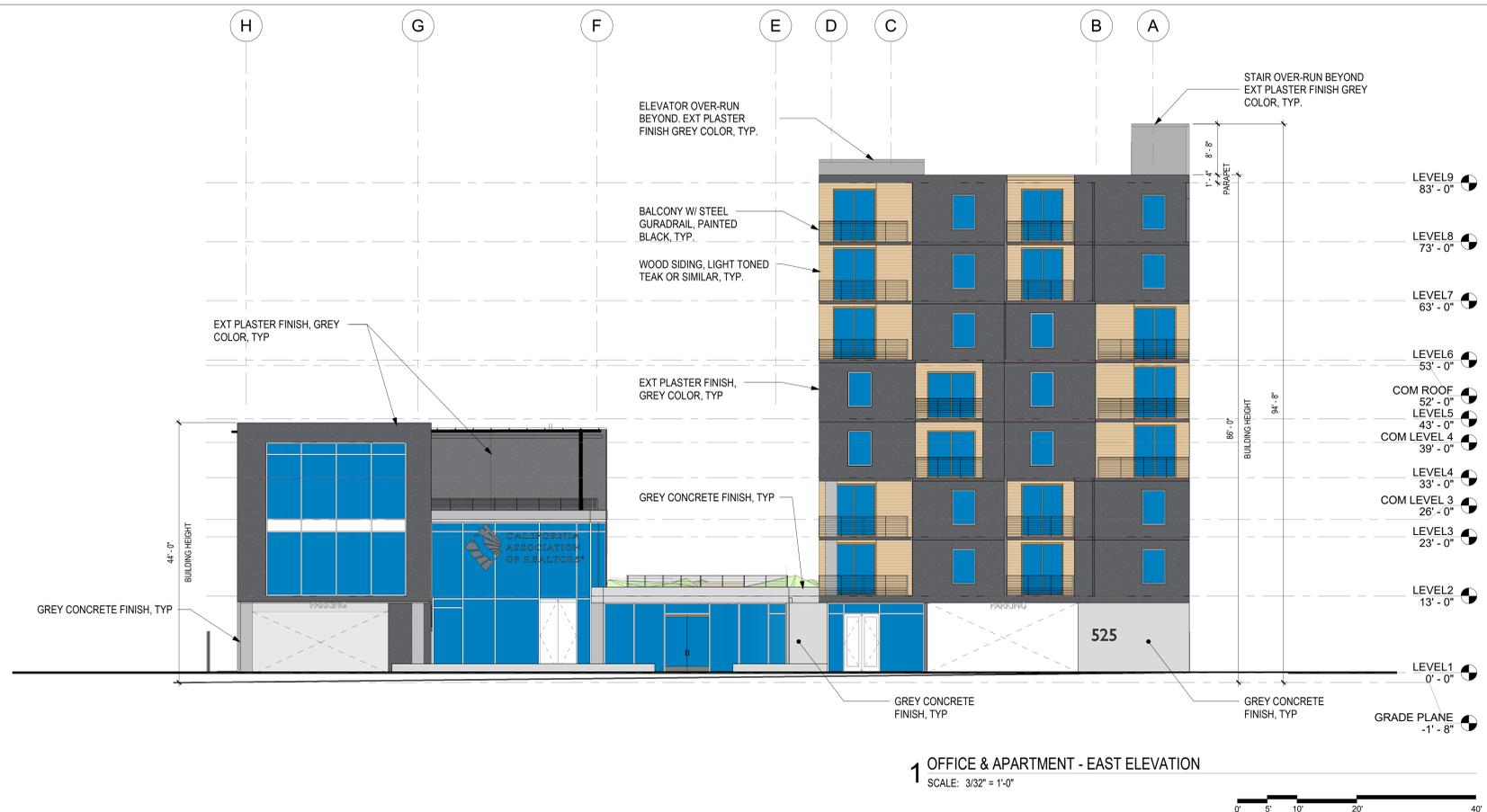
ELEVATIONS

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A4.001



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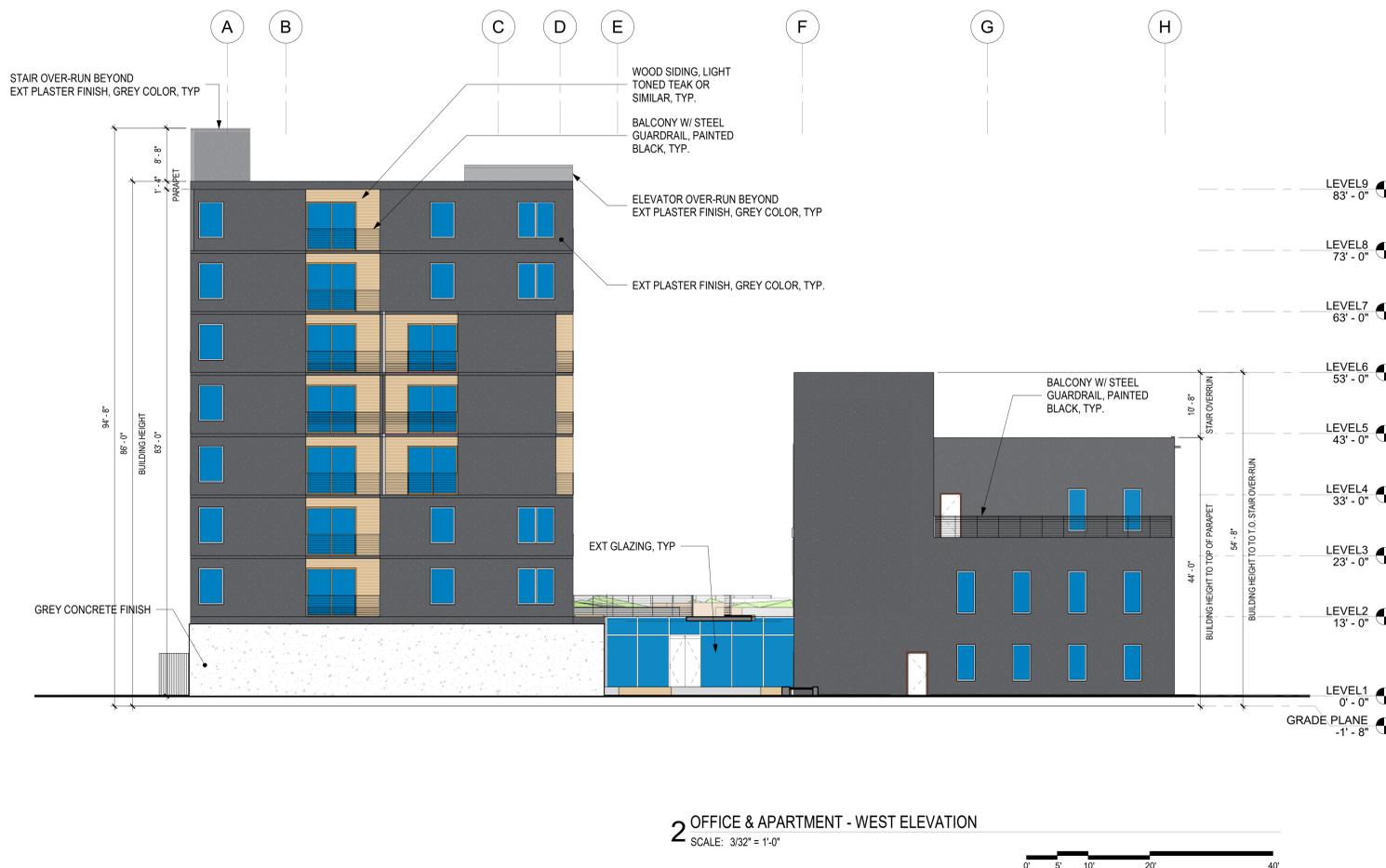
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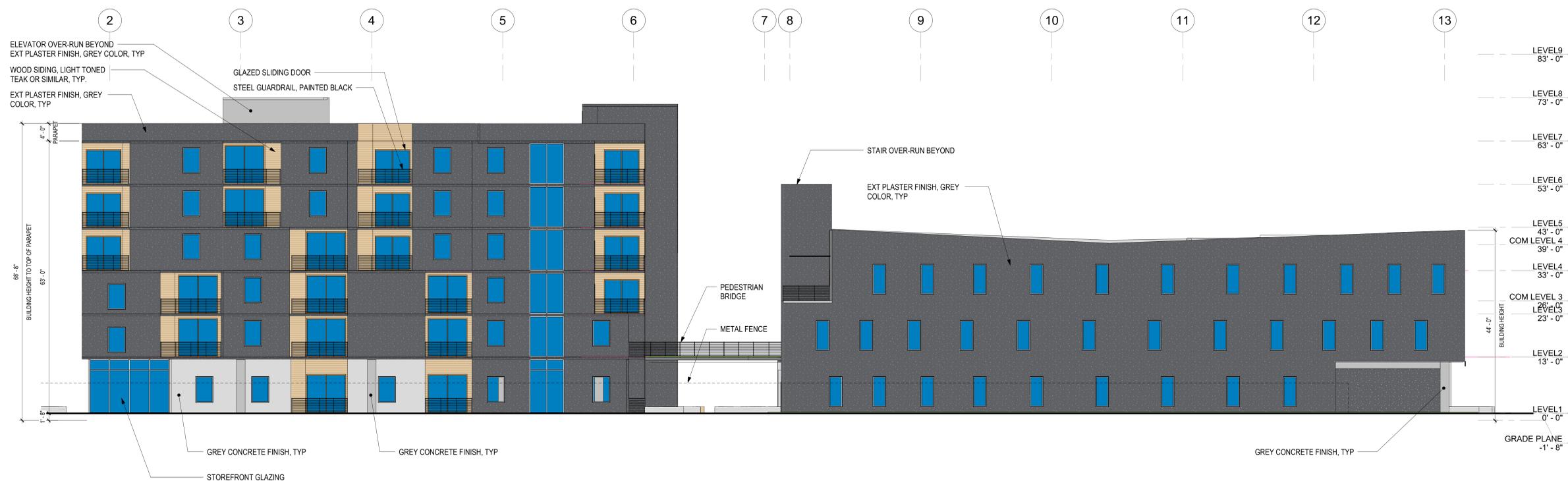
1 CONDO - WEST ELEVATION

SCALE: 3/32" = 1'-0"



2 OFFICE & APARTMENT - WEST ELEVATION

SCALE: 3/32" = 1'-0"



3 CONDO & OFFICE - SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

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ELEVATIONS

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A4.002

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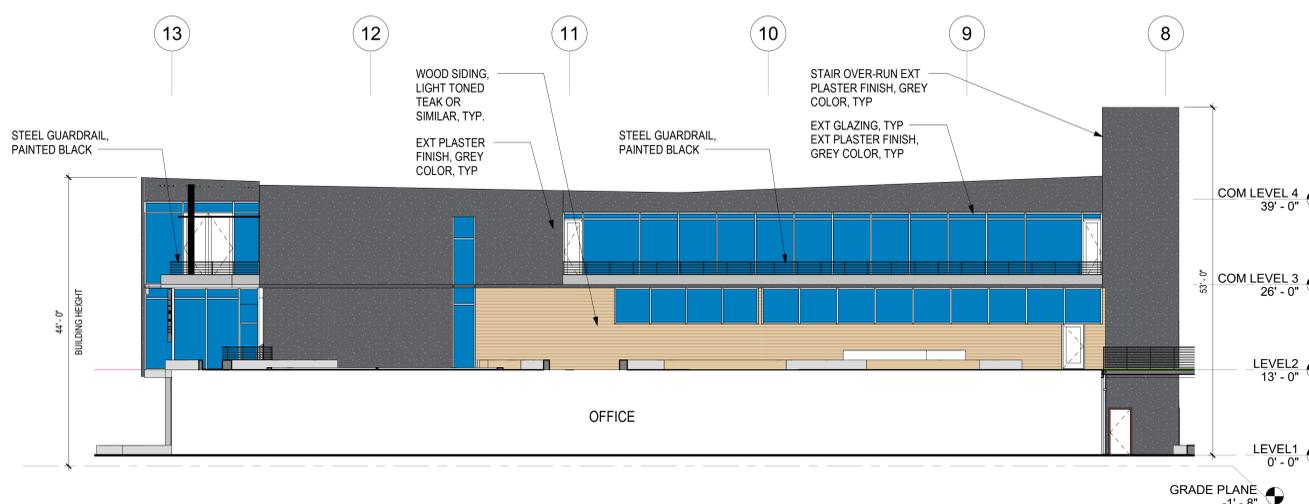
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1 CONDO - EAST ELEVATION
SCALE: 3/32" = 1'-0"



2 APARTMENT - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



3 OFFICE - NORTH ELEVATION
SCALE: 3/32" = 1'-0"

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A4.003

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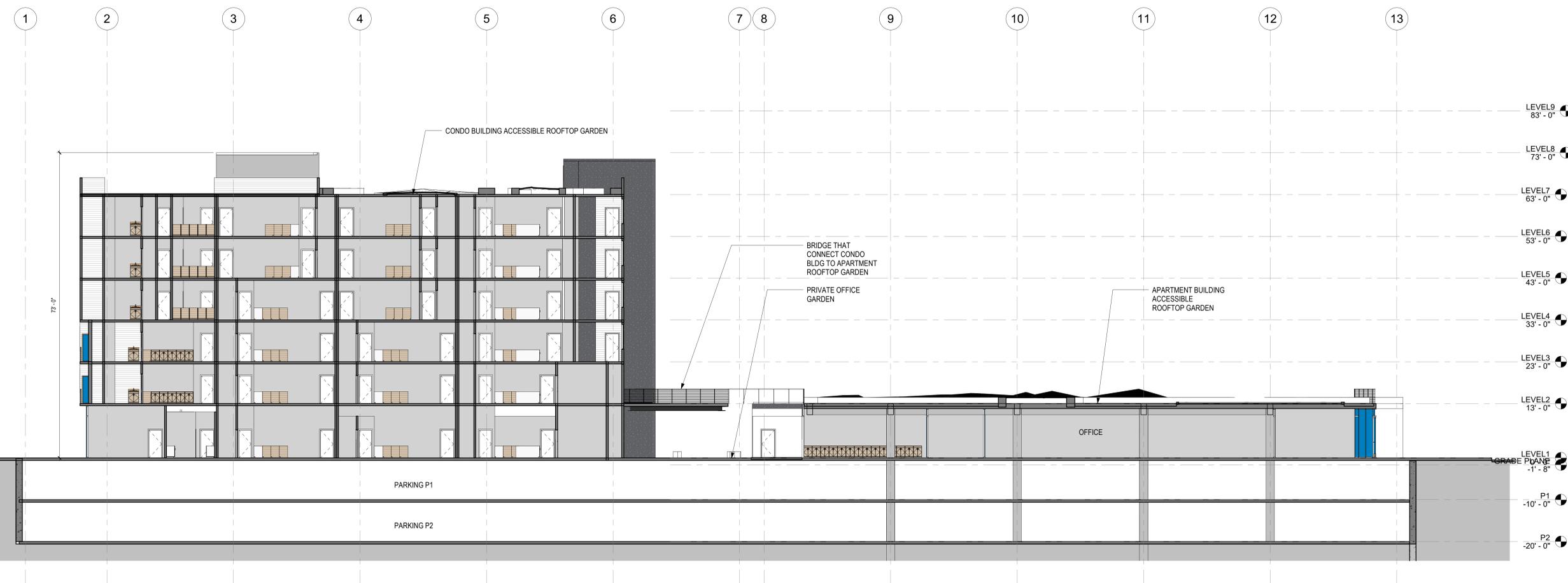
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1 Section 3
SCALE: 3/32" = 1'-0"



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BUILDING SECTIONS

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A5.001

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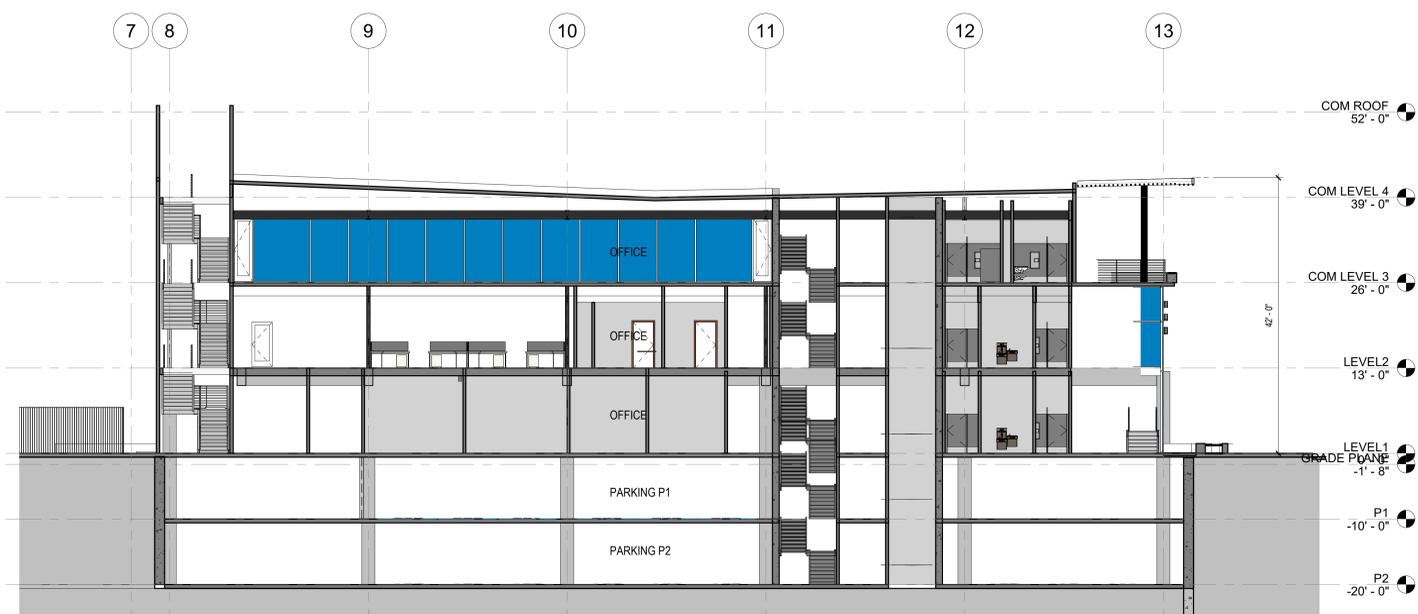
BUILDING SECTIONS

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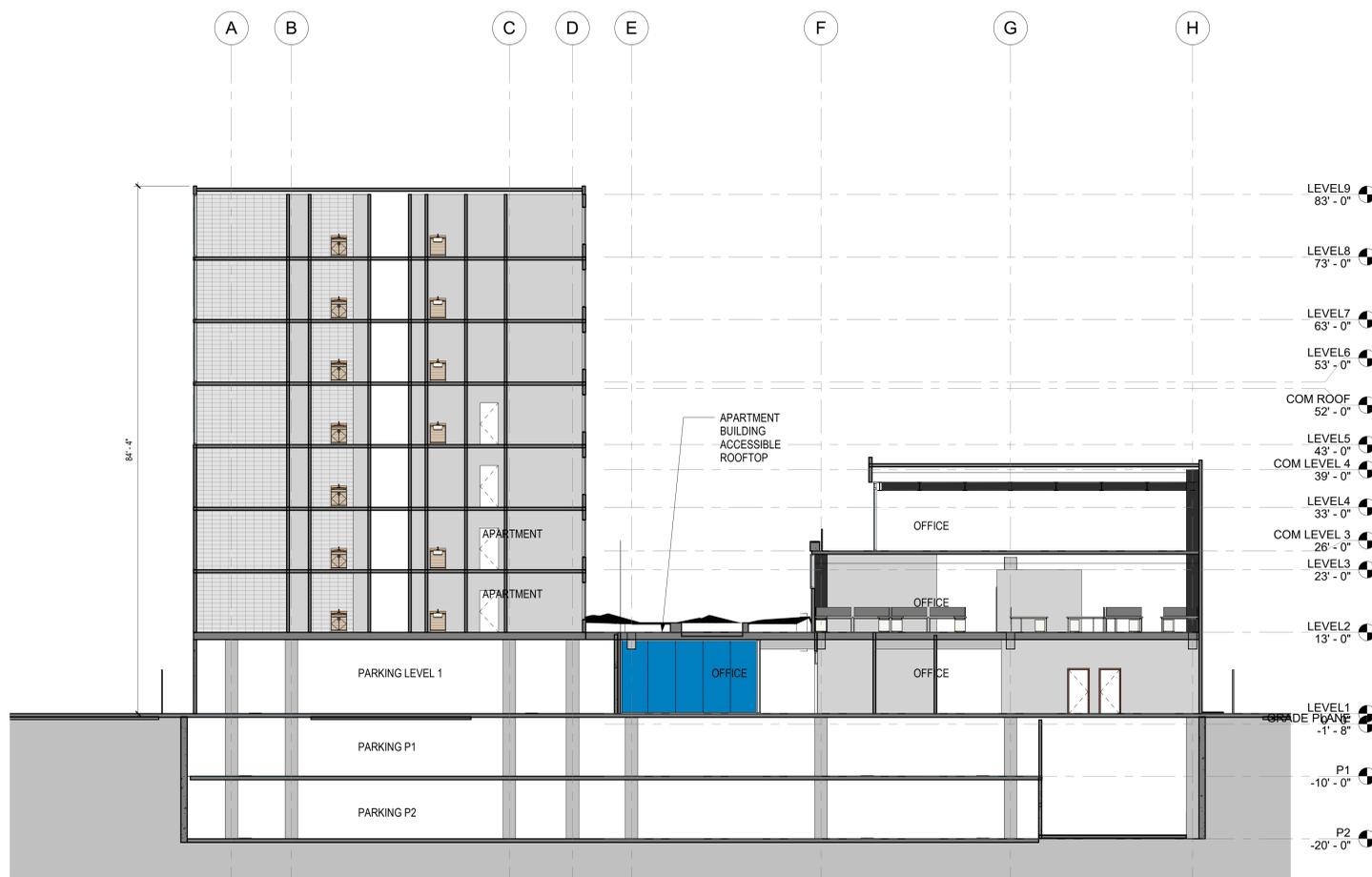
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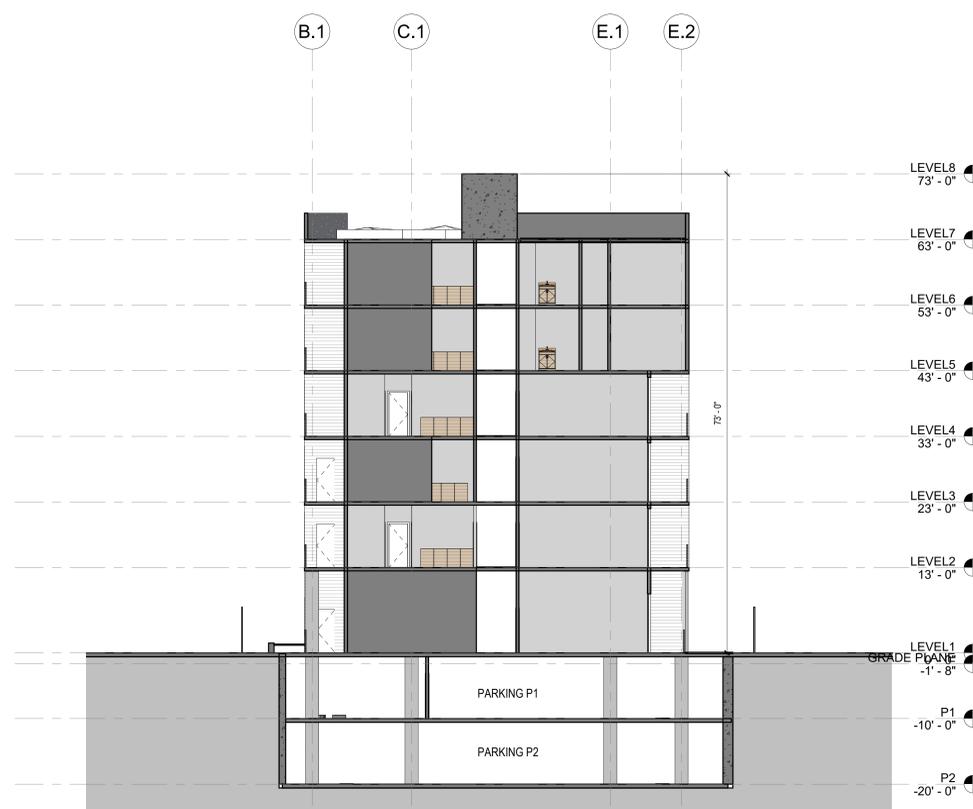
A5.002



1 Section 5
SCALE: 3/32" = 1'-0"



2 Section 6
SCALE: 3/32" = 1'-0"



3 Section 7
SCALE: 3/32" = 1'-0"

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RENDERING - AERIAL

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A6.001

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RENDERING - VIRGIL
ELEVATION

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A6.002

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RENDERING - PODIUM
COURTYARD

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A6.003

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COURTYARD

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RENDERING - CONDO
BUILDING

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A6.005

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PATHWAY CONDOMINIUMS

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RENDERING -
WESTMORELAND
ELEVATION

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A6.006

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**RENDERING -
APARTMENT SOUTH**

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RENDERING - CONDO
SOUTH

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RENDERING - CONDO
NORTH

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RENDERING -
APARTMENT NORTH

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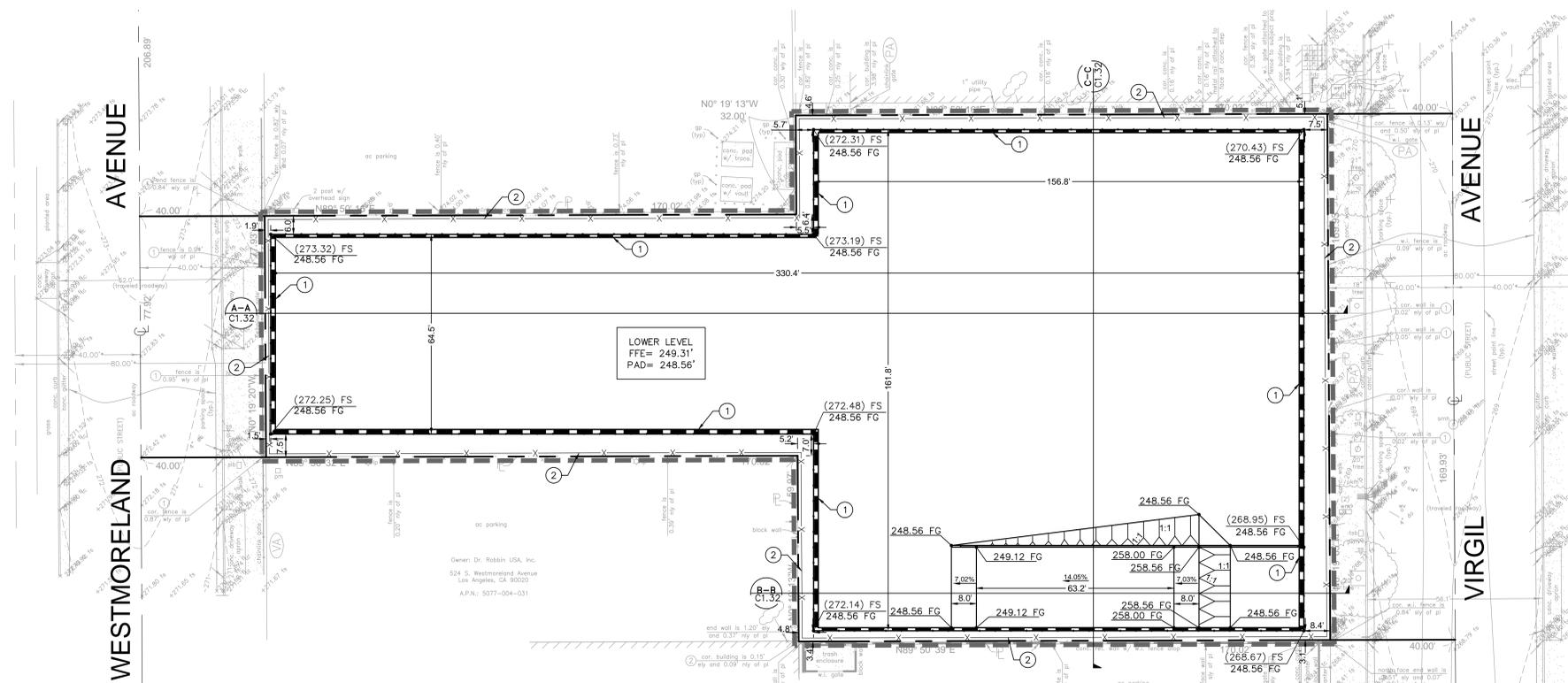
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CIVIL ENGINEER:

Kimley»Horn

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213.261.4040



ESTIMATED EARTHWORK QUANTITIES

CUT: 30,454 CY
FILL: 0 CY
NET: 30,454 CY (EXPORT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

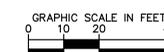
THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER-EXCAVATION AND RE-COMPACTON, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

DRAINAGE NOTES

- ① SHORING PER SHORING CONSULTANT PLANS.
- ② CONSTRUCTION FENCE

LEGEND

- EXISTING PROPERTY LINE
- CENTER LINE
- - - CONSTRUCTION FENCE
- CIVIL LIMIT OF WORK LINE
- SHORING BY OTHERS
- TOP TOE 1:1 SLOPE MAX
- XX.XX FS PROPOSED SPOT ELEVATION
- (XX.XX FS) EXISTING SPOT ELEVATION
- X-X SECTION
- C-XXX



Plotted By: Aboud, Corio Sheet 348-525 VIRGIL AVE Layout: C1.31 EXCAVATION PLAN March 17, 2020 01:51:16pm
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DATE: 17 March 2020

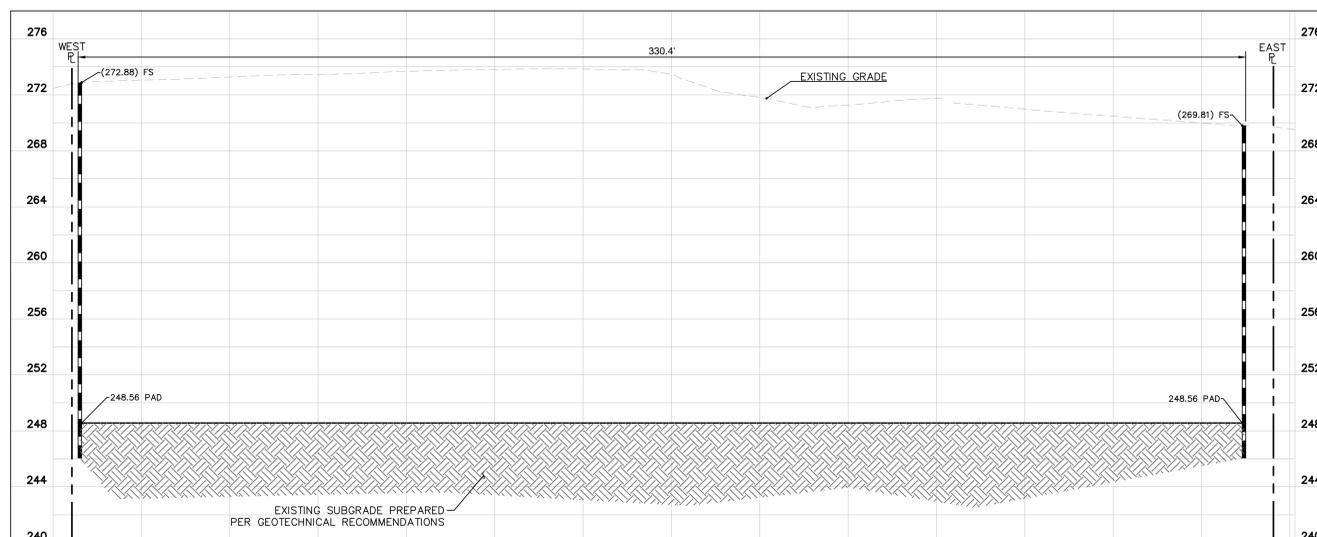
C1.31

CIVIL ENGINEER:

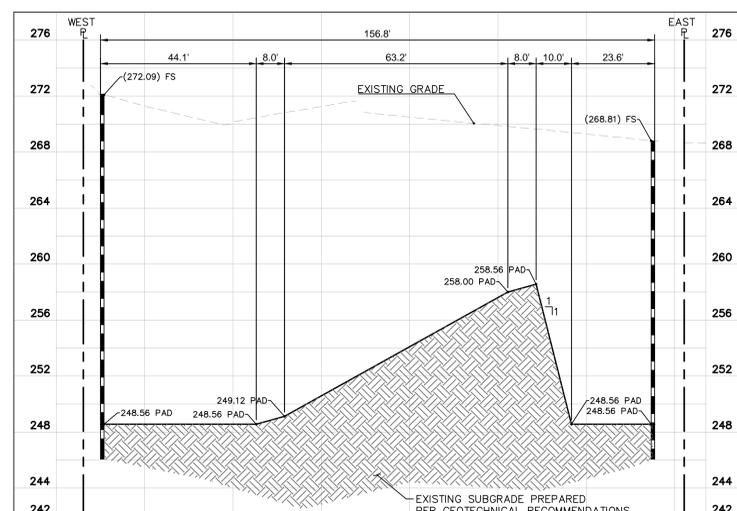
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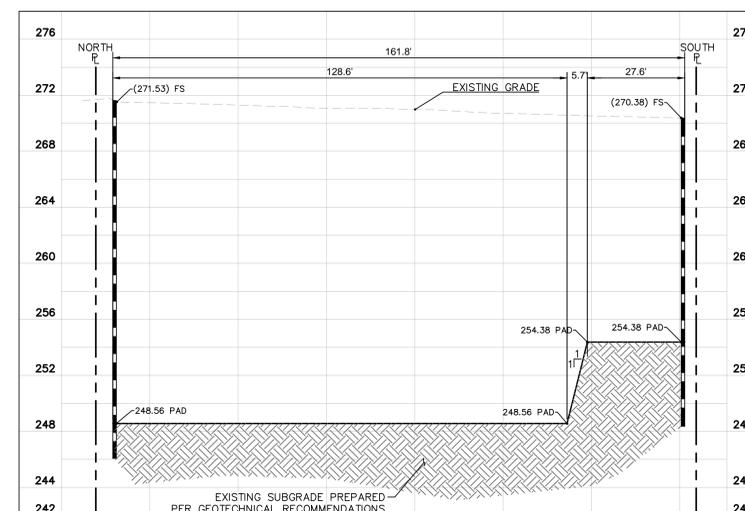
SECTION A-A



SECTION B-B



SECTION C-C



HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'

SECTION CUTS

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JOB NUMBER: 009716001

DATE: 17 March 2020

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LANDSCAPE ARCHITECTURE

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Santa Monica, California 90404 Fax 310.828.8054
United States

S. VIRGIL AVE

S. WESTMORELAND AVE



TREE LEGEND

Symbol	Botanical Name Common Name	Size	Quantity
	Arbutus x 'Marina' Strawberry Tree	48" Box	7
	Koelreuteria bipinnata Chinese Flame Tree	48" Box	3
	Ulmus parvifolia 'Drake' Drake Chinese Elm	48" Box	4

SHRUB LEGEND

Shrubs	Botanical Name	Size	Quantity
	S. Westmoreland Mix 50% Westringia 'Mundi' 50% Dodonaea 'Purpurea'	5-Gal	2,290 sf
	S. Virgil Mix 40% Sansevieria trifasciata 30% Sansevieria masoniana 30% Sansevieria cylindrica	5-Gal	233 sf
	Courtyard Mix 25% Dianella 'Variegata' 25% Acacia cognata 'Cousin Itt' 25% Agave attenuata 25% Plectranthus ciliatus	5-Gal	646 sf

LANDSCAPE LEGEND

- 1 Transformer
- 2 Raised Concrete Planters with Trees at Entry
- 3 Garden Courtyard with Lounge Spaces and Flexible Furniture
- 4 Concrete Planter Walls with Built-in Wood Benches
- 5 Vertical Vine Screen
- 6 Private Garden for Offices
- 7 Pedestrian Bridge Above
- 8 Remove and Replace Existing Street Trees
- 9 Bike Parking

LANDSCAPE AREA (COURTYARD)

Open Space Provided: 1,500 sf
Landscape Area Provided: 647 sf
>25% of Open Space

TREE CALCULATIONS (ENTIRE PROJECT)

Non-Protected Street Trees to be Removed and Replaced: 4
Protected Trees to be Removed: 0
Required Trees (1 Tree per 4 Units): 33
Provided Trees (24" Box Minimum): 33

0' 6' 12' 24'
Scale: 3/32" = 1'-0"



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LANDSCAPE PLAN
LEVEL 1

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L1

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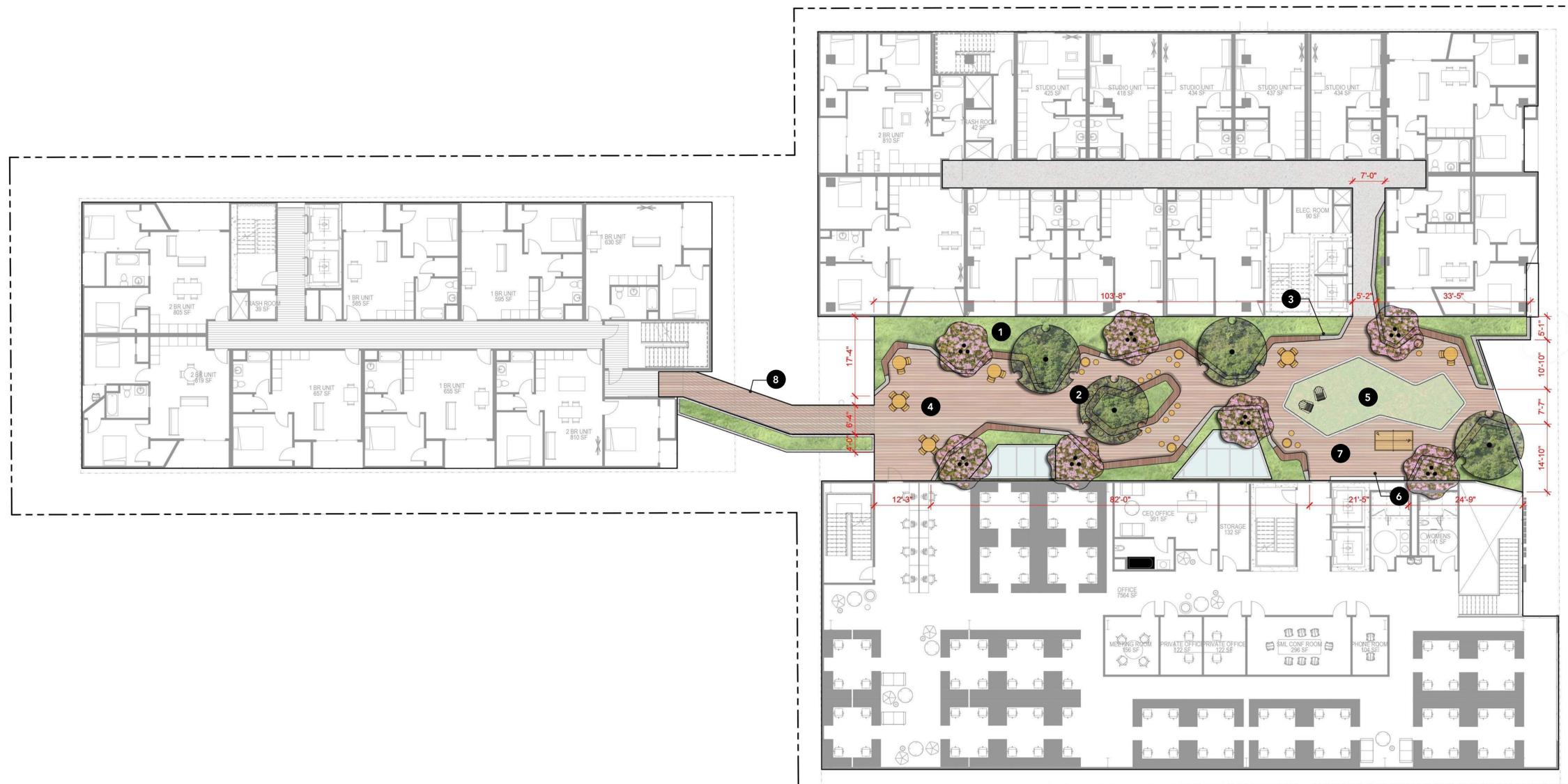
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TREE LEGEND

Symbol	Botanical Name Common Name	Size	Quantity
	<i>Cercis Canadensis</i> 'Forest Pansy' Forest Pansy Redbud	48" Box	7
	<i>Olea europaea</i> 'Swan Hill' Swan Hill Olive	48" Box	4

SHRUB LEGEND

Shrubs	Botanical Name	Size	Quantity
	20% <i>Pittosporum crassifolium</i> 'Nana' 20% <i>Lavandula x heterophylla</i> 20% Agave 'Nova' 20% <i>Westringia</i> 'Smokey' 20% <i>Olea</i> 'Little Ollie'	5-Gal	1,780 sf
	Lawn	Sod	394 sf

LANDSCAPE LEGEND

- 1 Mounded Planting for Privacy Screening
- 2 Raised Planter with Bar Height Counter for Laptops
- 3 Raised Concrete Planter Walls with Built-in Wood Benches
- 4 Garden Lounges with Flexible Seating
- 5 Flex Lawn for Gatherings, Yoga and Lawn Games
- 6 Screen for Outdoor Movies
- 7 Flexible Furniture Including Chess Tables Moveable Ping-pong Tables
- 8 Pedestrian Bridge

LANDSCAPE AREA (LEVEL 2)

Open Space Provided:	4,500 sf
Landscape Area Provided:	2,174 sf >25% of Open Space

TREE CALCULATIONS (ENTIRE PROJECT)

Non-Protected Street Trees to be Removed and Replaced	4
Protected Trees to be Removed	0
Required Trees (1 Tree per 4 Units)	33
Provided Trees (24" Box Minimum)	33

0' 6' 12' 24'
Scale: 3/32" = 1'-0"



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LANDSCAPE PLAN
LEVEL 2

The plans and specifications prepared by Ehrlich Yanai Rhee Chaney Architects, LLP are protected from unauthorized modification, reuse and/or release under California Business & Professions Code section 25424, and the Safety Code Section 185101, and Executive Code Section 17101.

JOB NUMBER: 000

DATE: 03/25/20

L2

EHRlich YANAI RHEE CHANNEY

ARCHITECTS

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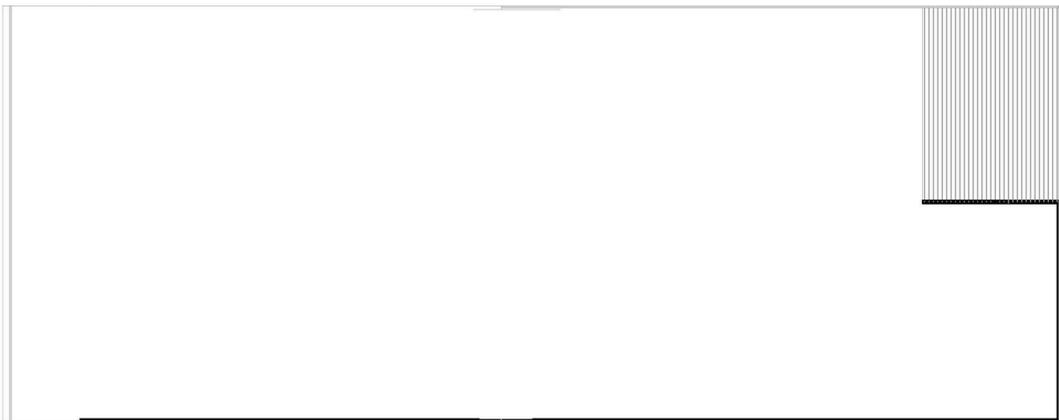
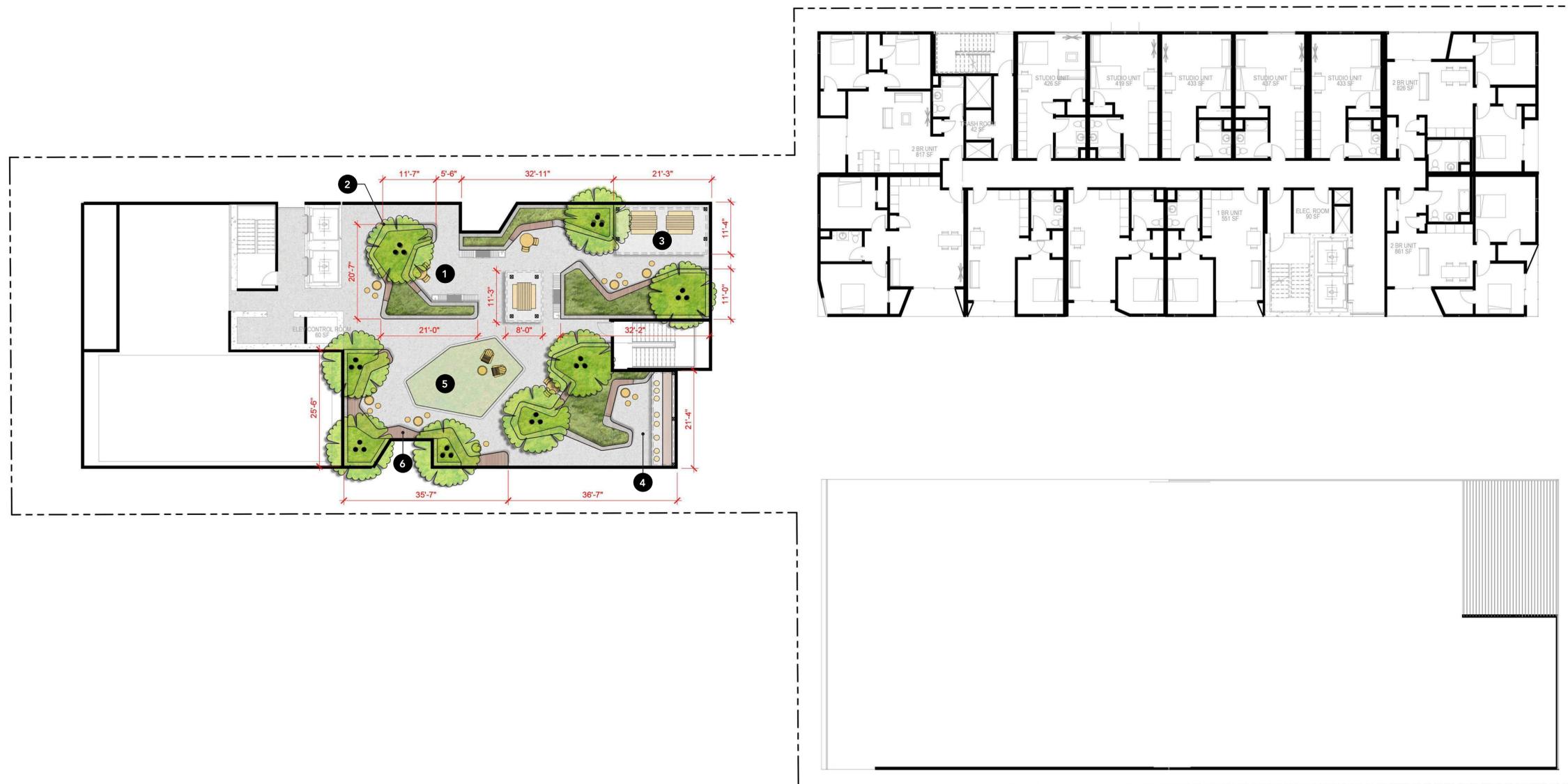
PB Co

PAMELA BURTON & COMPANY
LANDSCAPE ARCHITECTURE

1430 Olympic Boulevard Tel 310.828.6373
Santa Monica, California 90404 Fax 310.828.8054
United States

ISSUE DATES

NO.	DATE	REVISION



TREE LEGEND

Symbol	Botanical Name Common Name	Size	Quantity
	Cercidium x 'Desert Museum' Desert Museum Palo Verde	48" Box	8

SHRUB LEGEND

Shrubs	Botanical Name	Size	Quantity
	30% Acacia redolens 'Low Boy' 30% Rosmarinus 'Huntington Carpet' 20% Agave 'Kara's Stripes' 20% Furcraea mediopicta	5-Gal	815 sf
	Lawn	Sod	275 sf

LANDSCAPE LEGEND

- 1 BBQ Cove with Dining Seating
- 2 Raised Concrete Planter Walls with Built-in Wood Benches
- 3 Garden Lounge with Pergola and Flexible Furniture
- 4 Quiet Garden Lounge with Laptop Counters
- 5 'The Beach' Play Lawn
- 6 Undulating Wood Lounge Bench

LANDSCAPE AREA (LEVEL 7)

Open Space Provided: 4,000 sf
Landscape Area Provided: 1,090 sf
>25% of Open Space

TREE CALCULATIONS (ENTIRE PROJECT)

Non-Protected Street Trees to be Removed and Replaced: 4
Protected Trees to be Removed: 0
Required Trees (1 Tree per 4 Units): 33
Provided Trees (24" Box Minimum): 33

0' 6' 12' 24'
Scale: 3/32" = 1'-0"



CAR
525 S. VIRGIL AVE, LOS ANGELES, CA, 90020

LANDSCAPE PLAN
LEVEL 7

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JOB NUMBER: 000

DATE: 03/25/20

L3

TREES



Koelreuteria bipinnata
Chinese Flame Tree



Ulmus parvifolia 'Drake'
Drake Elm



Arbutus 'Marina'
Strawberry Tree



Olea 'Swan Hill'
Swan Hill Fruitless Olive



Cercis Canadensis 'Forest Pansy'
Forest Pansy Redbud



Cercidium x 'Desert Museum'
Desert Museum Palo Verde

SHRUBS GROUND LEVEL



Westringia 'Mundi'
Mundi Westringia



Dodonaea 'Purpurea'
Hopseed Bush



Sansevieria trifasciata
Sansevieria



Sansevieria masoniana
Snake Plant



Sansevieria cylindrica
African Spear Plant



Dianella 'Variegata'
Variegated Dianella



Acacia cognata 'Cousin Itt'
Cousin Itt Acacia



Agave attenuata
Foxtail Agave



Plectranthus ciliatus
Plectranthus

SHRUBS LEVEL 2



Olea 'Little Ollie'
Little Ollie



Agave 'Nova'
Nova Agave



Pittosporum crassifolium
'Nana' / Nana Pittosporum



Lavandula x heterophylla
Sweet Lavender



Westringia 'Smokey'
Smokey Westringia

SHRUBS LEVEL 7



Acacia redolens 'Low Boy'
Low Boy Acacia



Rosmarinus prostratus
Trailing Rosemary



Agave 'Kara's Stripes'
Kara's Stripes Agave



Furcraea mediopicta
Furcraea

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United States

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NO.	DATE	REVISION

CAR
525 S. VIRGIL AVE, LOS
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LANDSCAPE
PLANT PALETTE

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JOB NUMBER: 000

DATE: 03/25/20

L4

**DEPARTMENT OF
CITY PLANNING**

ESTINEH MAILIAN
CHIEF ZONING ADMINISTRATOR

**ASSOCIATE ZONING
ADMINISTRATORS**

JACK CHIANG
HENRY CHU
THEODORE L. IRVING
FRANKLIN N. QUON
CHARLES J. RAUSCH JR.
FERNANDO TOVAR
DAVID S. WEINTRAUB
MAYA E. ZAITZEVSKY

**CITY OF LOS ANGELES
CALIFORNIA**



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES
200 N. SPRING STREET, ROOM 525
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DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

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DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

<http://planning.lacity.org>

Filing Notification and Distribution

<p>ADDRESS: 525 South Virgil Avenue</p> <p>COMMUNITY PLAN: Wilshire</p> <div style="background-color: red; color: white; text-align: center; padding: 5px;">EXPEDITED PROCESSING SECTION</div>	<p>DATE OF FILING AND MAP STAMP DATE: 6/11/2020</p> <p>VTT- MAP NO: VTT-83086-CN DIR-2020-3627-TOC-SPR ENV-2020-3628-EAF</p> <p>DEEMED COMPLETE AND DISTRIBUTION DATE: 07/22/2020</p> <p>Hillside: () Yes (X) No</p>
<p>(X) COUNCIL DISTRICT NO: 13 () Neighborhood Planning (Check Office below)</p> <ul style="list-style-type: none"> () Valley () West Los Angeles () Harbor () Metro E/S <p>Department of Public Works</p> <ul style="list-style-type: none"> (X) Bureau of Engineering (X) Bureau of Sanitation <p>Department of Building and Safety</p> <ul style="list-style-type: none"> (X) Grading Engineer (X) Zoning Engineer <p>(X) Department of Transportation</p> <p>Department of Water and Power</p> <ul style="list-style-type: none"> () Underground Design (X) Real Estate (X) Water System (X) Fire Department (mark "Fire") 	<p>() Community Plan Revision</p> <ul style="list-style-type: none"> (X) Department of Recreation and Parks (X) Bureau of Street Services- Urban Forestry (X) Bureau of Street Lighting (No. P.S.) () Animal Regulation (Hillside) (X) Housing Department (X) Board of Education (No P.S.) (X) Los Angeles County Health Department (No P.S.) () City of Beverly Hills (See Counter Map) (No P.S.) () Valley DOT – Taghi Gharagozli (X) Imaging Services (X) GIS - c/o Fae Tsukamoto (X) Rampart Village Neighborhood Council <p>N.C. please respond with comments within 90 days from "deemed complete and distribution date" (LISTED ABOVE).</p>

The above tract has been filed with City Planning, Expedited Processing Section. The assigned planner for this case will await your report and recommendation regarding the above matter for 39 days. If we have not received a written report from you after 40 days from the date of filing, we will assume that you have no report to make.

Vincent P. Bertoni,
Director of Planning

Nicholas Hendricks, Senior City Planner
Expedited Processing Section
CP-6300 (1/21/09)

RECOMMENDATION REPORTS

DUE BY: 8/31/2020

Please forward reports to the following e-mail address:

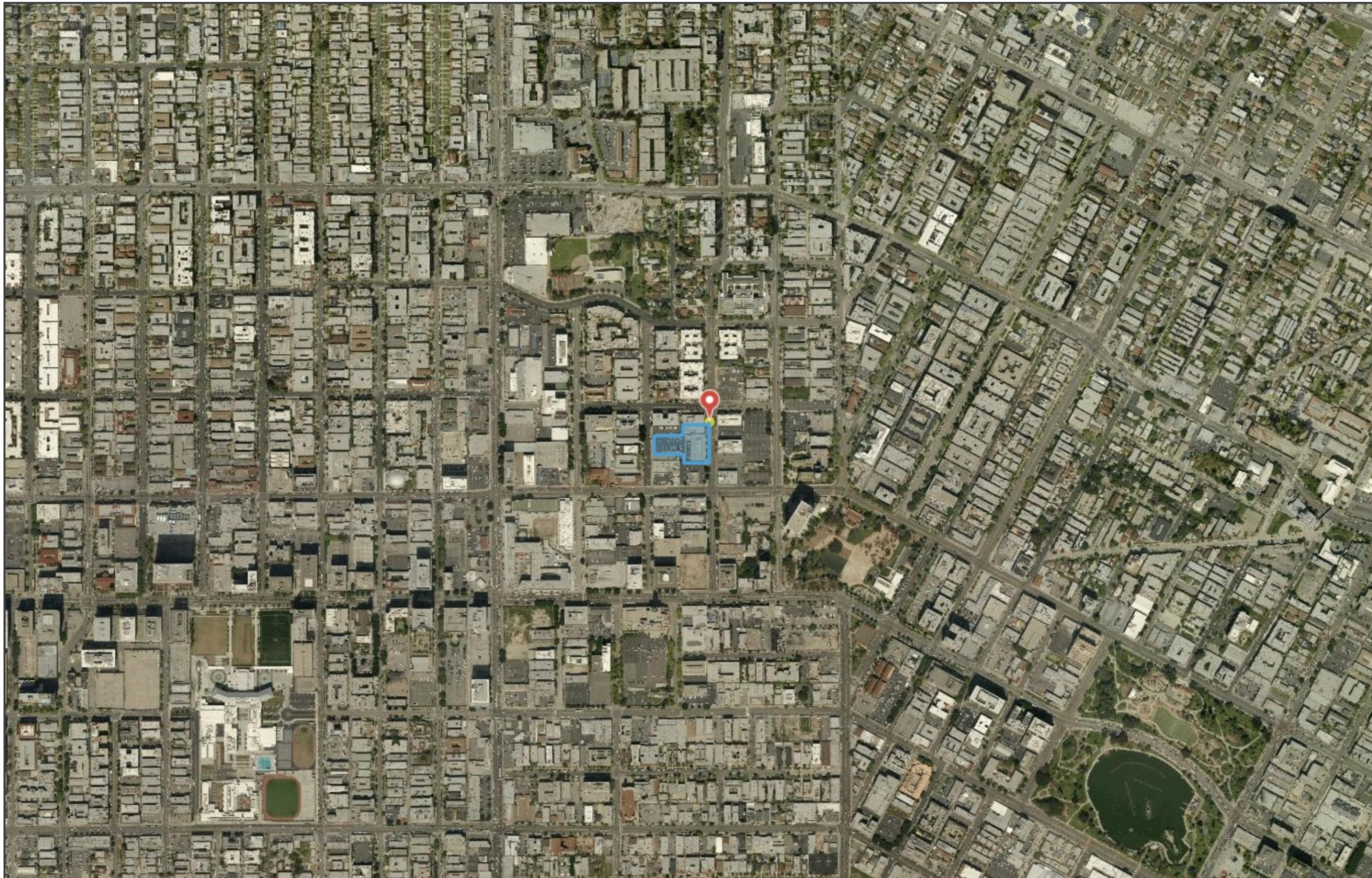
planning.expedited@lacity.org



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM

Aerial View of the Project Site

ATTACHMENT 3



LEGEND

- City Limits

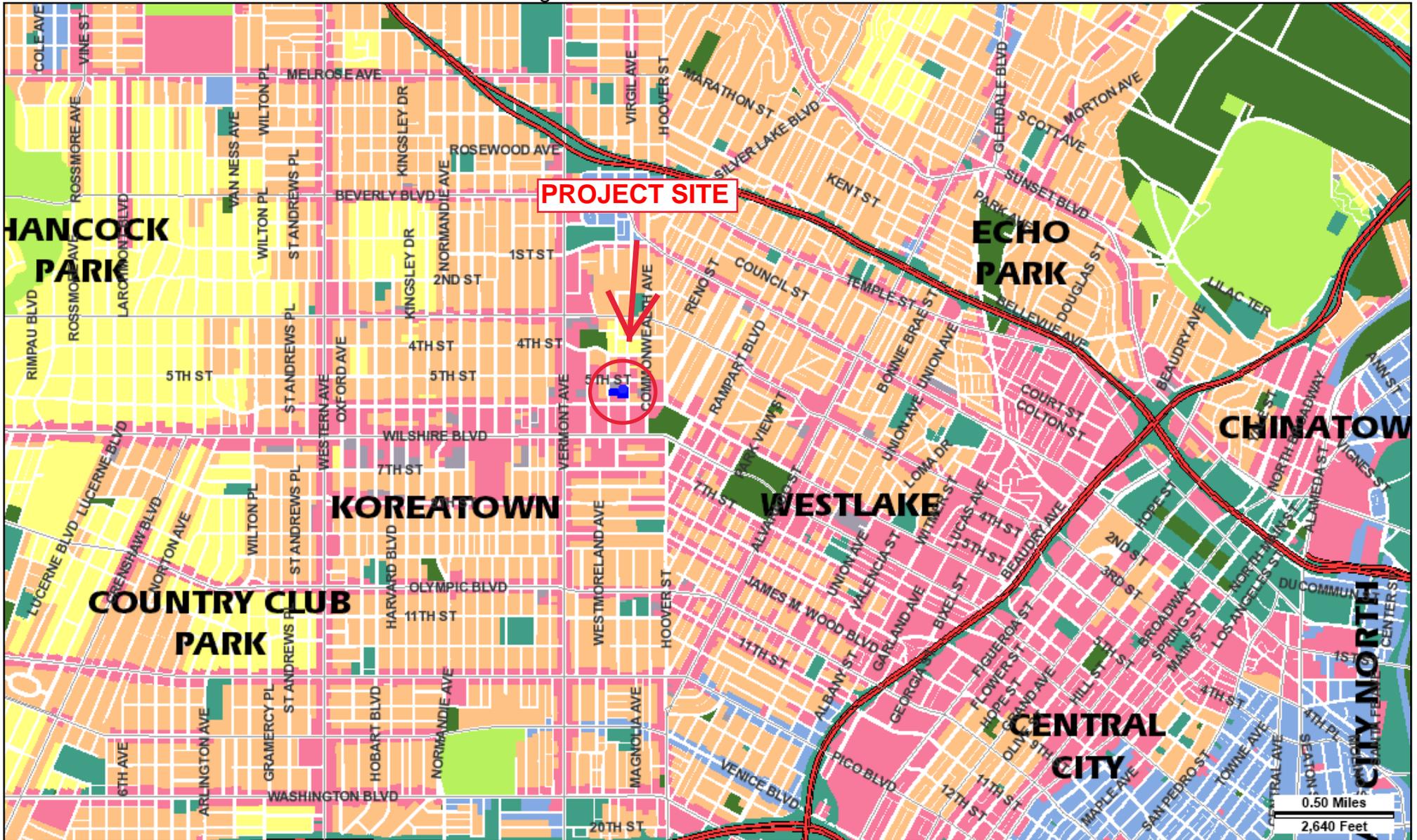
NOTES

0 0 Miles 0 0

SCALE 1: 9,028

Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

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Printed: 08/04/2020



Address: 515 S VIRGIL AVE

Tract: SOUTH HALF OF THE WEST
END UNIVERSITY ADDITION

Zoning: CR-1

APN: 5077004030

Block: 22

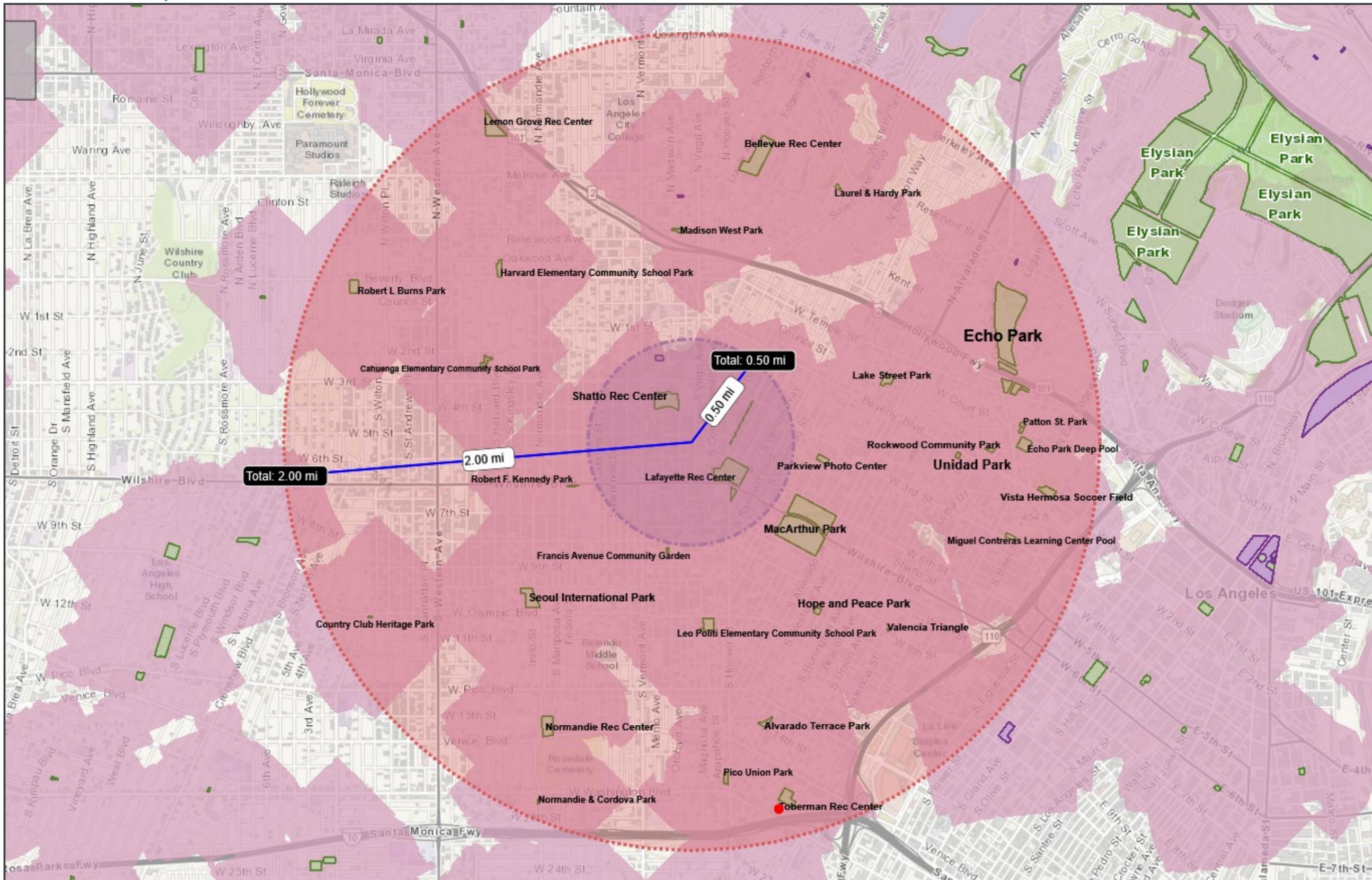
General Plan: Community Commercial

PIN #: 135B197 866

Lot: 6

Arb: 2





LEGEND

- Existing Parks
 - Non-RAP (Purple square)
 - RAP (Green square)
- City Limits (Grey square)
- All Improved Service Areas (Pink square)

NOTES



SCALE 1: 36,112

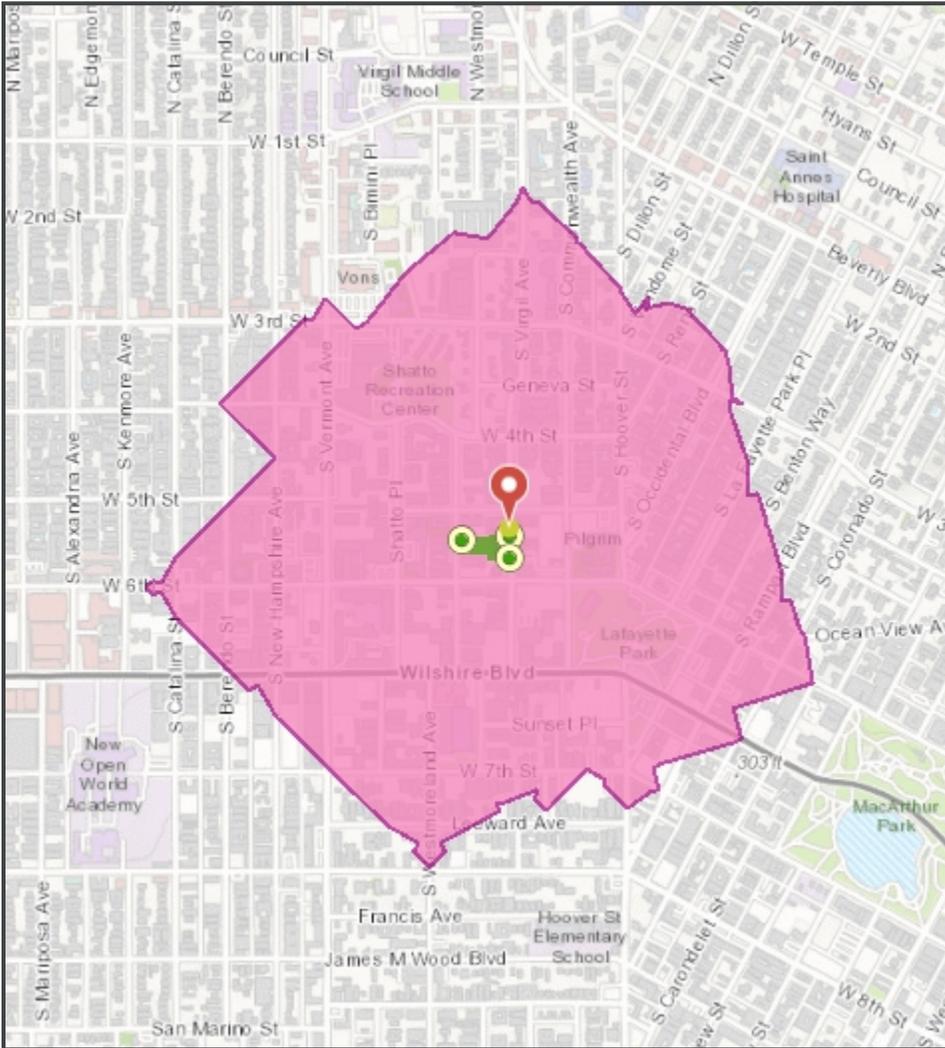
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Printed: 08/05/2020



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM

Park Analysis Report



Scenario Information

Scenario Name:

VTT-83086

Description:

Scenario Type:

New Park

Park Class:

Improved

Baseline Dataset*:

All Parks (RAP and Non-RAP)

*The baseline dataset is the existing parks dataset whose service areas are used to calculate the currently non-served metrics given below in blue. These residents and households, which would be served by the proposed park, are not currently served by any existing park in the baseline dataset.

Population and Age Breakdown

Household and Income Breakdown

	Total Residents Served:	Currently Non-Served Residents Served:
Residents Served:	20,159	0
Residents Served by Age		
Under Age 5:	1,222	0
Age 5 to 9:	907	0
Age 10 to 14:	807	0
Age 15 to 17:	568	0
Age 18 to 64:	15,046	0
Age 65 and Over:	1,609	0

	Total Households Served:	Currently Non-Served Households Served:
Households Served:	8,939	0
Households Served by Annual Income		
Under \$25,000:	2,868	0
\$25,000 to \$34,999:	1,254	0
\$35,000 to \$49,999:	1,571	0
\$50,000 to \$74,999:	1,677	0
\$75,000 and Over:	1,569	0

Source: Census/ACS 2010