

APPROVED

APR 15 2021

BOARD OF RECREATION AND PARK COMMISSIONERS

BOARD REPORT

NO. 21-065

DATE April 15, 2021

C.D. 14

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: ARROYO SECO PARK - PROPOSED CD14 TINY HOMES VILLAGE PROJECT - PROPOSED EMERGENCY USE OF A PORTION OF THE PARK FOR THE CONSTRUCTION OF AND USE AS A TEMPORARY HOMELESS SHELTER FACILITY FOR A PERIOD NOT TO EXCEED THREE (3) YEARS OF OPERATION - APPROVAL OF PRELIMINARY PLANS; STATUTORY EXEMPTION FROM THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO PUBLIC RESOURCES CODE SECTION 21080(b)(4) [SPECIFIC ACTION NECESSARY TO PREVENT OR MITIGATE AN EMERGENCY] AS ALSO REFLECTED IN CEQA GUIDELINE SECTION 15269(c); PUBLIC RESOURCES CODE SECTION 21080.27 (AB 1197) [ANY ACTIVITY APPROVED BY OR CARRIED OUT BY THE CITY OF LOS ANGELES IN FURTHERANCE OF PROVIDING EMERGENCY SHELTERS OR SUPPORTIVE HOUSING IN THE CITY OF LOS ANGELES]; AND GOVERNOR'S ORDER N-32-20 [SUSPENSION OF DIVISION 13, COMMENCING WITH SECTION 21000, OF THE PUBLIC RESOURCES CODE AND REGULATIONS ADOPTED PURSUANT THAT DIVISION FOR ANY PROJECT USING HOMELESS EMERGENCY AID PROGRAM FUNDS, HOMELESS HOUSING ASSISTANCE AND PREVENTION PROGRAM FUNDS OR FUNDS APPROPRIATED IN SENATE BILL 89, SIGNED ON MARCH 17, 2020].

AP Diaz	_____	M. Rudnick	_____
H. Fujita	_____	<i>for</i> C. Santo Domingo	<i>DF</i> _____
J. Kim	_____	N. Williams	_____

M. Shue

 General Manager

Approved X Disapproved _____ Withdrawn _____

RECOMMENDATIONS

1. Find that the emergency use for a temporary period not-to-exceed three (3) years of operation, of a portion of the Department of Recreation and Parks' (RAP), Arroyo Seco Park (Attachment 1) located at Arroyo Drive and Avenue 60, Los Angeles, California 90042 (Los Angeles County Assessor's Parcel No. (APN) 5492-021-900), as a temporary homeless shelter site, is consistent with the use of a portion of Arroyo Seco Park (Park) for park purposes;

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2. Approve the proposed construction of the CD 14 Tiny Homes Village Project on a portion of RAP's Arroyo Seco Park and its operation for a period not to exceed three (3) years (Project), as further described in the Summary of this Report;
3. Approve design plans, substantially in the form as attached to this Report and further described in the Summary of this Report, for the proposed Project to be located in a portion of the Park (Attachment 2);
4. Authorize RAP's General Manager or designee to approve technical revisions to the plans as necessary, to complete the construction of the proposed Project;
5. Authorize RAP's General Manager or designee to issue a license (e.g. Temporary Right of Entry Permit), as needed, to the Department of Public Works, Bureau of Engineering (BOE); Department of General Services (GSD); or other City Departments to conduct site preparation, utility installation, construction and other works related to the installation of the proposed Project at the Park;
6. Authorize RAP's General Manager or designee, which may include another City Department, to issue a license to a housing operator for the operation, security, and maintenance of the proposed Project for a period not to exceed three (3) years of operation;
7. Determine that the proposed Project is statutorily exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Public Resources Code Section 21080(b)(4) [Specific action necessary to prevent or mitigate an emergency] as also reflected in CEQA Guideline Section 15269(c); Public Resources Code section 21080.27 (AB 1197) [Any activity approved by or carried out by the City of Los Angeles in furtherance of providing emergency shelters or supportive housing in the City of Los Angeles]; and Governor's order N-32-20 [Suspension of Division 13, commencing with Section 21000, of the Public Resources Code and regulations adopted pursuant that Division for any project using Homeless Emergency Aid Program Funds, Homeless Housing Assistance and Prevention Program Funds or Funds Appropriated in Senate Bill 89, signed on March 17, 2020];
8. Request BOE to file a Notice of Exemption (NOE) within five (5) working days of approval with the Office of Planning and Research (OPR) and the Los Angeles County Clerk's Office; and,
9. Authorize RAP Staff to make technical corrections to carry out the intent of this Report.

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SUMMARY

Declaration of an Emergency Shelter Crisis in the City of Los Angeles

In April 17, 2018, City Council, through Council File (CF) No. 15-1138-S33, and with the support of the Mayor, unanimously voted to declare an emergency shelter crisis in the City of Los Angeles. With this declaration and pursuant to Los Angeles Municipal Code (LAMC) 12.80 and 12.81, shelters could now be established and operated on non-governmental property as well as property owned or leased by the City of Los Angeles in any zone without limits.

On May 30, 2018, Mayor Garcetti issued Executive Directive No. 24 which directed 15 City Departments to prioritize and facilitate the construction of temporary emergency homeless shelters also called Bridge Housing. Although, RAP was not one of the 15 City Departments named in the subject directive, RAP, with its over 450 parks, was asked to contribute to alleviate the emergency shelter crisis within the City of Los Angeles.

On March 20, 2019, the Board of Recreation and Park Commissioners (Board), through Report No. 19-062, approved the construction and operation of a temporary homeless shelter and storage facility on a 0.7 acre or 30,127 square-foot portion of RAP's Lafayette Park. Subsequently, on September 4, 2019, the Board, through Report No 19-179, approved the construction and operation of a second temporary homeless shelter and storage facility on a 0.65 acre or 28,500 square-foot portion of RAP's Griffith Park on Riverside Drive. The Griffith Park Riverside Drive shelter was completed in June 2020 and operations began on July 8, 2020. The Lafayette Shelter completed construction and began operations in February 2021.

On August 6, 2020, the Board, through Report No. 20-160, approved the construction and operation of a temporary Tiny Homes Village homeless shelter on a 0.5 acre or 21,705 square-foot portion of RAP's North Hollywood Park on Chandler Boulevard. The North Hollywood Park Tiny Homes Village completed construction and began operations in January 2021. On August 6, 2020, the Board, through Report No. 20-161, approved the construction and operation of a temporary Tiny Homes Village homeless shelter on a 1.72 acre or 75,000 square-foot portion of RAP's Valley Plaza Park on Laurel Canyon Drive, which is currently under construction. On September 17, 2020, the Board approved the construction and operation of a temporary Tiny Homes Village homeless shelter on 1.1 acres or 47,800 square-foot portion of RAP's Ken Malloy Harbor Regional Park, which is currently under construction (Report No. 20-179).

On February 28, 2021, the Board approved an amendment to the Porter Bill Lease at Strathern Park West with Caltrans in relation to the construction and operation of a Tiny Homes Village homeless shelter (Report No. 21-028).

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LA Alliance for Human Rights vs. City of Los Angeles

In June 2020, the City of Los Angeles (City) and the County of Los Angeles (County) reached an agreement to provide housing and services for up to 6,700 homeless people who live near freeways and those over 65 years of age or vulnerable to COVID-19. This agreement was approved by a federal judge in connection with a lawsuit filed in March 2020 by the Los Angeles Alliance for Human Rights.

Under the agreement, the City will provide 6,700 beds within eighteen (18) months and the County will provide up to \$300 million over the next five (5) years to fund homeless services. The County also agrees to pay the City a one-time bonus fee of \$8 million if 5,300 beds are available within ten (10) months.

As indicated earlier in this report, the Board approved three (3) homeless pallet shelters at North Hollywood Park, Valley Plaza Park and Ken Malloy Harbor Regional Park (Report Nos. 20-106, 20-161 and 20-179). This Project, as described later in this Report, would be the fourth pallet shelter that the Board would be considering. All four (4) locations have been evaluated by RAP staff in cooperation with other City staff.

Proposed Pallet Shelter at Arroyo Seco Park

Arroyo Seco Park is located at 5568 Via Marisol in the Arroyo Seco community of the City. This 85.97-acre park provides tennis courts, playgrounds, baseball diamonds, a dog park and picnic areas for the surrounding community.

The portion of the Park proposed for this project is located on Arroyo Seco Parkway between Avenue 60 and Avenue 64 immediately adjacent to the north side of the 110 Freeway. The area of the proposed Project measures approximately 1.2 acres or 54,000 square-feet (see Exhibit B). This proposed project area would be located on an unused portion of a parking lot within Arroyo Seco Park. The parking lot is unused because there is no longer any vehicular access to this portion of the Park. The lot is immediately adjacent to a green space with trees and landscaping and a small children's play structure.

Because a portion of this proposed project will be sited on the public road right-of-way (Arroyo Seco Parkway) adjoining with the RAP lot, this project is also contingent on approval from other City entities. There will be no impact to vehicular use in the neighborhood as this portion of Arroyo Seco Parkway was closed to vehicular traffic by the City Council in 1983.

The proposed Project will provide shelter and services for up to 224 homeless individuals. The scope of work will include one hundred fifteen (115) 8'x8' Pallet Shelters, 109 with double beds and 6 with single beds to comply with the Americans with Disabilities Act (ADA), three (3) 7'x28' Hygiene Mobile Units, five (5) 8'x14' administrative palette offices, one (1) 8'x20' laundry station with external sink; two (2) 8'x8' Pallet Shelters for security stations and one (1) 8'x14' Pallet unit for food storage and refrigeration. The site will also accommodate seating, an eating area with picnic tables, fencing, umbrellas for shade and drinking fountains.

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The proposed Project would continue to expand the use of pallet shelters as habitable structures. Pallet shelters are small, white rectangular structures constructed with a fiberglass material and an aluminum frame. These shelters come in two sizes: a (8'x8') 64-square-foot and a (8'x14') 112-square-foot model. These can be set up with little to no tools in under an hour. They come with a fold-up bed, windows, a ventilation system, and a front door that locks. They are an "Ikea approach to shelter," as the shelter comes in pieces that are assembled on site (see Attachment 3).

Advantages to the use of pallet shelters include the fact that they are prefabricated and can easily be built in less than one hour with minimal tools. The shelters can be outfitted with beds, climate control, safety features, electricity, and more. They can be ready for resident move-in within a short amount of time.

It should be noted that the Office of Council District 14 (CD 14) is fully supportive of the Project location.

CD 14 introduced a motion requesting various City Departments to begin working on the coordination and design process for temporary homeless housing at two sites within the boundaries of Council District 14, including the Arroyo Seco Park site discussed in this Report. Said motion was adopted by City Council on March 25, 2021 (C.F. 19-0774-S1). The Historic Highland Park Neighborhood Council and Eagle Rock Neighborhood Council supported the motion as shown in Attachment 5.

ENVIRONMENTAL IMPACT

The proposed Project consists of the new construction of a temporary homeless shelter and is meant to prevent or mitigate the conditions arising from a sudden and unexpected dramatic rise in the City's already large homeless population. City Council declared a homeless shelter crisis pursuant to Government Code Section 8698, et seq. on April 17, 2018. The 2020 Homeless population count shows an unexpected and unabated dramatic surge in homelessness, and finds that the number of people experiencing homelessness in the City has increased by 16.1% since 2019, while the unsheltered homeless population has increased by 8.4%. Studies illustrated in the Notice of Exemption (Attachment 4) show the burden that homelessness imposes to life, health, property, and to essential public services in the City. Furthermore, the City is facing an unprecedented emergency at the current time due to the sudden occurrence of the COVID-19 pandemic, and this emergency is particularly concerning for the imminent threat it poses to the City's homeless population. In the United States District Court Central District of California case of *LA Alliance for Human Rights Et Al. vs. the City of Los Angeles, Et al.* Case No. 20-cv-02291-DOC concerning homelessness, the Court entered a May 2020 injunction, which has since been vacated for other reasons, recognizing that the combined risks of health impacts from living near freeways and the on-going COVID-19 pandemic constitute an emergency.

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Public Resources Code (PRC) section 21080(b)(4) provides that the California Environmental Quality Act (CEQA) does not apply to “specific actions necessary to prevent or mitigate an emergency.” PRC section 21060.3 defines *emergency* as, “a sudden, unexpected occurrence, involving a clear and imminent danger, demanding immediate action to prevent or mitigate loss of, or damage to, life, health, property, or essential public services.” Section 21060.3 further provides that *emergency* “includes such occurrences as fire, flood, earthquake, or other soil or geologic movements, as well as such occurrences as riot, accident, or sabotage.” Moreover, Article 18, Section 15269(c) of CEQA Guidelines clarifies that a project to prevent a future emergency – such as this Project, which is designed to mitigate the impacts caused by the sudden and unexpected dramatic rise in the City’s already dangerously large homeless population, now adversely impacted by the COVID-19 pandemic— need not be sudden or unexpected to qualify as statutorily exempt from CEQA compliance.

Based on these considerations, RAP staff recommends that the Board determines that the proposed Project is statutorily exempt from the provisions of CEQA pursuant to PRC Section 21080(b)(4), as reflected in Article 18, Section 15269(c) of California CEQA Guidelines.

On September 27, 2019, the California Legislature approved AB 1197, which introduces Section 21080.27 of the California PRC. Section 21080.27 exempts from the requirements of CEQA certain activities approved or carried out by the City of Los Angeles and other eligible public agencies, related to supportive housing and emergency shelters. As described in Attachment 4, the proposed project responds to the requirements listed in AB 1197, therefore, staff recommends that the Board determines that it is exempt from the provisions of CEQA pursuant PRC Section 21080.27.

Moreover, on March 18, 2020, Governor Newsom signed and issued Executive Order No. N-32- 20 suspending CEQA and the CEQA Guidelines’ requirements “for any project using Homeless Emergency Aid Program funds, Homeless Housing, Assistance, and Prevention Program funds, or funds appropriated in Senate Bill 89, signed on March 17, 2020.” The Governor noted that “strict compliance with the various statutes and regulations specified in this order would prevent, hinder, or delay appropriate actions to prevent and mitigate the effects of the COVID-19 pandemic.” Because this project uses “Homeless Housing, Assistance and Prevention Program” funds, RAP staff recommends that the Board determines that it is exempt from CEQA under the Governor’s Executive Order No. N-32-20.

City Staff will file a Notice of Exemption (NOE) with the Office of Planning and Research (OPR) and with the Los Angeles County Clerk should the Board grant this approval.

FISCAL IMPACT

This proposed Project will be fully funded through the A Bridge Home Program and a maintenance fund will be established for the duration of services. There is no fiscal impact to RAP’s general fund as a result of the approval of this Report.

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This Report was prepared by Meghan Luera, Management Analyst, Planning, Maintenance and Construction Branch.

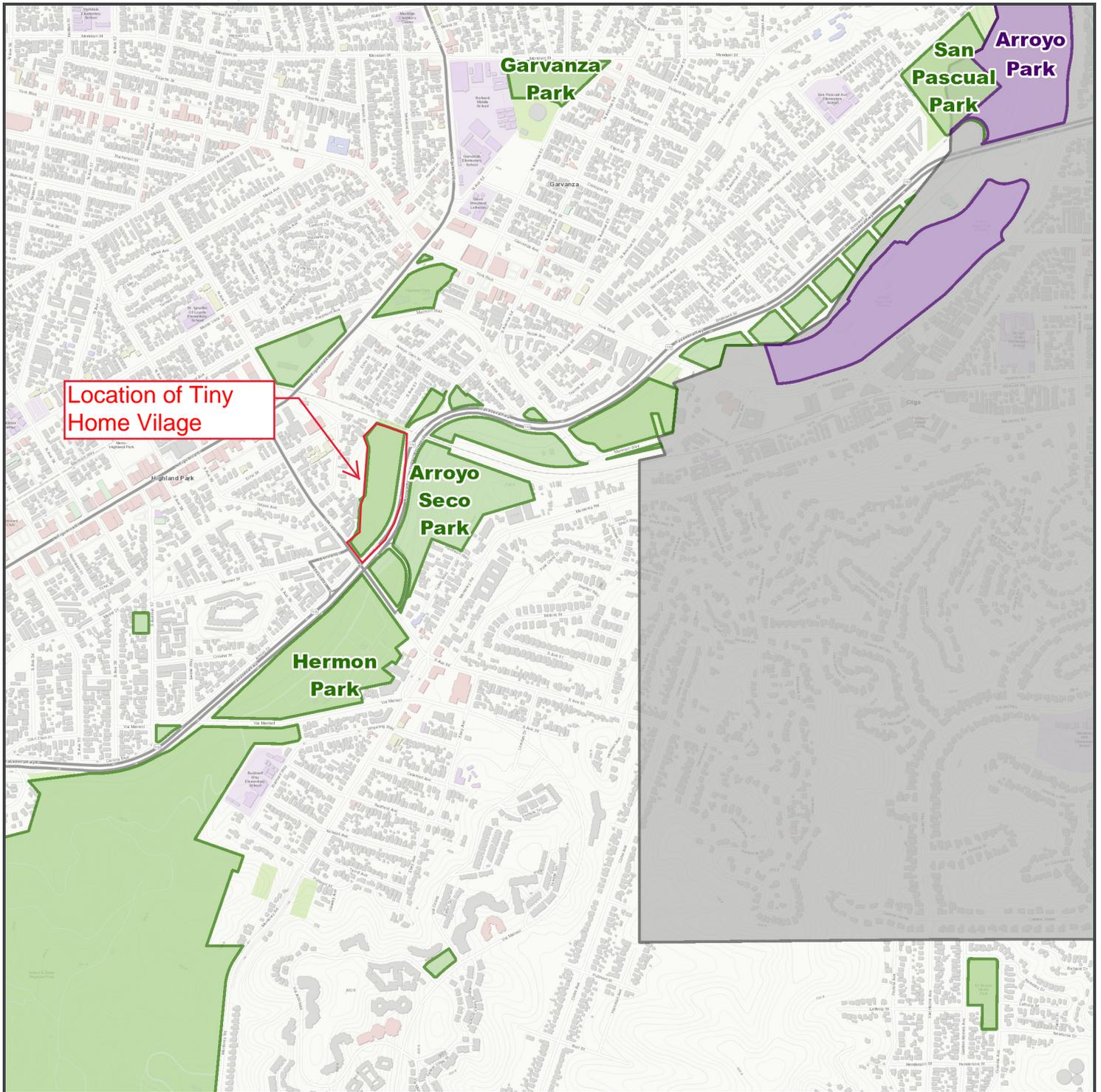
LIST OF ATTACHMENTS

- 1) Attachment 1 – Map of Arroyo Seco Park
- 2) Attachment 2 – Concept Plan for Arroyo Seco Park Tiny Village Shelter
- 3) Attachment 3 – Generic Pallet Shelter Exhibit
- 4) Attachment 4 – Notice of Exemption for Arroyo Seco Park – Proposed CD14 Tiny Homes Village Housing Project
- 5) Attachment 5 – Letter of Support from Historic Highland Park Neighborhood Council and Eagle Rock Neighborhood Council



EQUITABLE PARKS & AMENITIES
DECISION SUPPORT SYSTEM

E-PADSS Map Output



Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

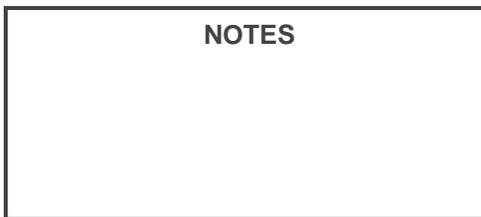
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SCALE 1: 18,056



NOTES



CD14 ARROYO SECO PALLET SHELTERS: ARROYO SECO PARKWAY (BETWEEN AVENUE 60 AND AVENUE 64)

SHEET INDEX

GENERAL:

- G001 COVER
- G002 SPECIFICATIONS
- G003 SITE PHOTOS
- G100 OVERALL SURVEY
- G101 SURVEY SHEET 1
- G102 SURVEY SHEET 2
- G103 SURVEY SHEET 3
- G104 SURVEY SHEET 4
- G200 LAFD MEMO

ARCHITECTURAL:

- A001 VICINITY AND SITE DATA
- A002 B.O.D. AERIAL VIEW
- A101 SITE PLAN
- A102 FLOOR PLAN
- A103 FENCE AND FINISH PLAN
- A200 PALLET REFERENCE SHEETS
- A201 PALLET PLANS AND PHOTOS
- A202 PALLET 64 ELEVATIONS
- A203 PALLET 64 PLANS
- A204 PALLET 100 ELEVATIONS
- A205 PALLET 100 PLANS
- A300 HYGIENE MOBILE UNIT
- A400 PREFAB LAUNDRY STRUCTURE
- A500 FENCING DETAILS
- A600 AERIAL VIEW
- A601 PERSPECTIVE VIEWS

CIVIL:

- C2.0 SITE CONTROL PLAN
- C2.1 SITE CONTROL PLAN
- C3.0 SITE GRADING PLAN
- C4.0 SITE UTILITY PLAN
- C4.1 SITE UTILITY PLAN

STRUCTURAL:

- S001 GENERAL NOTES
- S101 SLEEPING CABIN ANCHORAGE DETAILS

ELECTRICAL:

- E001 GENERAL NOTES
- E100 ELECTRICAL SYSTEM
- E101 PANEL SCHEDULES
- E102 PANEL SCHEDULES
- E103 PANEL SCHEDULES
- E300 ELECTRICAL FLOOR PLAN
- E301 NORMAL SITE PHOTOMETRICS
- E302 EMERGENCY SITE PHOTOMETRICS
- E400 STANDARD DETAILS
- E700 PALLET SHELTER
- E701 PALLET SHELTER
- E800 SPECIFICATION SHEETS
- E801 SPECIFICATION SHEETS

PLUMBING:

- P101 PLUMBING SITE PLAN
- P102 PLUMBING DETAILS

BUREAU OF ENGINEERING

COVER

G001

14

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EV

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Scale:

DEPARTMENT OF PUBLIC WORKS

GARY LEE MOORE, PE, ENV SP

CITY ENGINEER

ACCEPTED BY:

DEPUTY CITY ENGINEER PROGRAM MANAGER

CITY ENGINEER

DATE

DATE

**CD14 ARROYO SECO
PALLET SHELTERS**

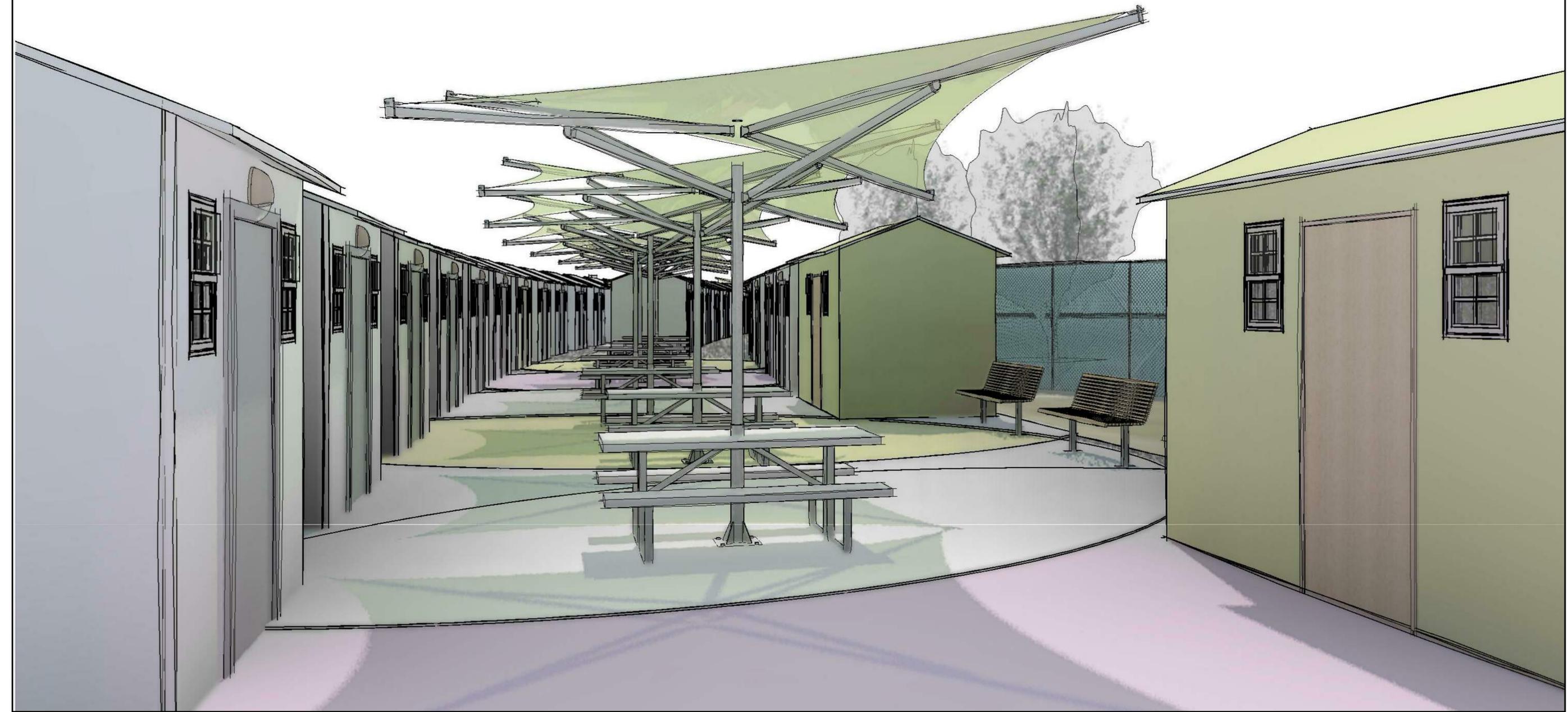
ARROYO SECO PARKWAY (ALLEY)
BETWEEN AVE 60 & AVE 64, 90042

CITY OF LOS ANGELES



WO#E1908842

SHEET 1 OF 47



Project Information

This project will provide temporary emergency homeless shelters in the City of Los Angeles, under the Mayor's Executive Directive No. 24, pursuant to LAMC sections 12.80. and the Emergency Declaration, Council File 20-0841. Project will use sleeping cabins to house 224 individuals. Recommended shelter layout provided as a basis of design (B.O.D.)

Project Scope of Work

Work includes all the labor, materials, and equipment necessary to provide, supply, fabricate, construct, deliver (FOB site) and install pallet shelter units, and construct an emergency homeless shelter facility. Cabin units will provide sleeping quarters for individuals and will also be used for Administrative offices. An in-ground prefabricated structure will be used for laundry amenities. A mobile hygiene trailer with 5 restroom/shower compartments is to be provided for every 75 individuals or fraction thereof. Other site work includes site lighting, mobile seating with mobile umbrellas, utilitarian hose bibs with lock valves, and perimeter fencing with privacy applications.

Work includes site development with the minimum following amenities:

- a. Sleeping Cabins - with 2 beds typical, or 1 bed for designated ADA units.
- b. Mobile hygiene trailers with showers, restrooms, drinking fountains (require hard piping to sewer and to water)
- c. 9' and 8' high perimeter chain link fencing with privacy applications, see plans.
- d. Egress and site lighting
- e. Staff parking stalls, 3 minimum - existing stalls available on both ends.
- f. Fence enclosed trash bin area (trash bins provided by city)
- g. Site shall have an LAFD approved fire apparatus access lane and new fire hydrant
- h. Designated loading area (fire lane may be used).
- i. Designated food distribution area (paved area; minimum 10 ft by 10 ft)
- j. Internet and security equipment by others, provide conduit infrastructure only
- k. Mobile picnic tables with acrylic canvas sunbrella fabric and site benches. Provide sufficient seating for a minimum of 60% of occupants.
- l. Power to individual cabins
- m. Provide a location near admin for a hot box with power provided by exterior outlet
- n. Dedicated Pallet 100 for secured storage for Service Provider supplies.
- o. Site paving – asphalt, decomposed granite, and concrete. See Arch and Civil sheets.
- p. Outlet for refrigeration unit adjacent to food distribution area. Propose using a dedicated Pallet 100.
- q. 8'x20' Laundry in-ground prefabricated structure - not provided by the city. Provide one washer and dryer per 37 residents. Plumbing crawl space required under structure for sewer pipes - see Plumbing and Civil.

Notes:

- 1. A preliminary site plan is provided for programmatic purposes but not intended as a definite site plan. Contractor may provide alternate design layouts with City approval.
- 2. Provide all required mechanical, plumbing, electrical and telecommunications for a complete functioning facility.
- 3. CONTRACTOR shall arrange for installation of the water meter and water service line by the Department of Water and Power, and shall pay required fees and charges.
- 4. Department of Water and Power shall furnish and install electric service conductors from street utility line to new transformers or switchboards, and electric meters. CONTRACTOR shall make necessary arrangements and pay for fees and charges.
- 5. Telephone and data conductors for telephone and data system shall be installed by the CONTRACTOR. CONTRACTOR shall make all necessary arrangement and pay for all fees and charges. Equipment by service provider.
- 6. Site clearing and grading shall be provided by the CONTRACTOR.
- 7. All required fees and charges including permits and plan check fees shall be included as part of the bid proposal.
- 8. Labeling and signage of individual pallet shelters, trailers, and areas as required by LADBS and LAFD
- 9. Installation and leveling of hygiene mobile trailers
- 10. Installation and leveling of all decking and ramps
- 11. Traffic control plans as required by LADWP or BOE for installation of water or power utilities
- 12. Contractor to provide required documentation at end of project for warranty and as-builts
- 13. Basis of Design established for reference. GC to verify design required for permitting and construction.

Project Team

- a. The Contractor shall have capability to execute project from initial conceptual design, plan review submittals, cabin fabrication, on-site construction thru Certificate of Occupancy.
- b. The Contractor shall be experienced in working with local planning and building departments for permitting approvals, including both on-site and off-site fabricated components.

Design Team

- a. Architect-of-record must be licensed in the state of California, and have experience working with the state of California licensing as code enforcement Agencies and Departments that review and appraise modular facilities.
- b. Structural and Civil engineer-of-record must be licensed in the state of California.

B.O.D. Architectural Emergency Sleeping Cabin Specifications

- a. The cabins for this project shall be purchased by the City from Pallet Shelter.
- b. Pallet Shelter 64 will be the emergency sleeping cabins used for this project and Pallet 100 will be used for Admin purposes.
- c. Each Pallet Shelter shall maintain a 6'-0" clearance all around, per LAFD memo, see sheet G200, option 2.
- d. All accessible paths of travel and egress shall meet accessibility requirements of 2% max cross slope and 5% max slope in direction of travel.
- e. Pallet Shelter shall be leveled on an asphalt base and shall meet GeoTechnical notes on Civil plans.
- f. Refer to A200 sheet series for Pallet structure information.

GENERAL SITE GRADING NOTES:

- The contractor is responsible for retaining a geotechnical consulting firm to perform observation and testing of fill placement and compaction, as required. The geotechnical consulting firm shall be approved by the Los Angeles Department of Building and Safety (LADBS), Grading Division.
- All subgrade, except landscaped areas, shall be scarified, at least 8 inches, moisture conditioned between 0 and 3 percent above the optimum moisture content, and compacted to at least 90 percent relative compaction (RC) in accordance with ASTM D1557. If 90 percent RC can't be achieved due to soft/wet conditions, supplemental recommendations may be required.
- The on-site soils are suitable for use as compacted fill beneath the proposed tiny homes, access roads, and paved exterior flatwork. Any import soil shall be predominantly granular (minimum 80% passing the No. 4 sieve and 35% or less passing the No. 200 sieve) and non-expansive (EI less than 20). All fill materials shall be free of organic and/or inorganic debris, contamination, and materials with any dimension larger than 3 inches. Proposed import soil shall be reviewed and tested by the consulting firm for approval prior to delivery to the job site.
- If fill placement is required, it shall be placed in loose lifts not exceeding 8 inches in thickness, uniformly moisture-conditioned to within 3 percent above the optimum moisture content, and mechanically compacted. Excavation bottoms shall be observed and approved by the geotechnical consultant prior to any fill placement. Excavation bottoms shall also be scarified, moisture conditioned, and compacted to at least 90 percent relative compaction (RC) prior to fill placement. All fill shall be compacted to at least 90% RC, and all crushed aggregate base and/or crushed miscellaneous base shall be compacted to a minimum of 93 percent RC. RC is determined based on laboratory compaction testing performed in accordance with the most recent version of ASTM D1557. Field density testing shall be performed in accordance with the requirements outlined in the LADBS' Bulletin P/BC 2020-028.
- Compacted fill soils shall be kept moist, (at or slightly above the specified moisture content at the time of compaction) but not flooded, until covered with subsequent fill/construction. If compacted fill soils become softened or disturbed, they shall be replaced or recompacted at the discretion of the consulting firm.
- The use of Controlled Low Strength Material (CLSM) is an acceptable alternative to compacted fill. CLSM shall be placed in accordance with the requirements outlined in the LADBS' Bulletin P/BC 2020-121.
- The consulting firm shall prepare a final compaction report following completion of the grading operations. The report shall satisfy the LADBS, Grading Divisions' requirements for soil compaction reports, as outlined in Section II of the LADBS' Bulletin P/BC 2020-113. For projects where the contractor has pulled a grading permit, the consultant shall submit the final compaction report to the LADBS, Grading Division for review and approval.

B.O.D. Civil Specifications

- Contractor to provide all required design for the shelter, as well as a Site Drainage Plan for LADBS review.
- Low Impact Development not required.

B.O.D. Electrical Specifications

Existing Conditions

- For Methane or Methane Buffer Zones. EYS seals shall be installed for ALL panelsboards and distribution boards with underground conductors and conduit, in accordance with LADBS requirements.

Electrical Utilities

- New 480/277V, 600A, 3 Phase, 4 Wire, overhead LADWP electric service.
- A floor mounted Meter/Distribution/Pull Section.
- A pole mounted electric utility transformer shall be located on the site for overhead electric service, with proper clearances in accordance with the latest LADWP Commercial Service Construction Standards and the latest LADWP Electrical Service Requirements.
- LADWP fees for new electric service shall be included in bid proposal.

Site Electrical Design

- Design outdoor high efficacy LED site lighting
- Future wireless camera infrastructure (power and communications)
- Site electrical distribution system
- Design shall include, and is not limited to, all panel boards, breakers, transformers, grounding systems, and any other primary or support systems required or desired by LADBS, LADWP, and BOE.

B.O.D. Plumbing Specifications

Domestic water system: New domestic water meter with Reduced Pressure Zone Backflow Preventer and water Pressure Reducing valve; Provide protection cages. Provide domestic water piping from water meter to Mobile Hygiene Units. (MHU) and Laundry Prefab-in-ground-Structure.

Fire Protection water system: Per LADBS and LAFD's requirement. Provide a dedicated Fire water meter with Double Check Backflow Preventer. Fire protection contractor shall Design, fabricate, install, and secure required approvals for a complete fire protection system.

Sanitary Sewer system: Provide sanitary sewer piping from Mobile Hygiene Unit (MHU) and Laundry Prefab-in-ground-Structure up to the house connection point.

Piping Material: See Civil Utility Plan

Sanitary Sewer See Civil Utility Plan

2 to 6 inch Sewer, Waste and Vent piping below ground: ABS Schedule 40; 2 to 4 inch Sewer, Waste and Vent piping above ground:: Hubless cast iron soil pipe and fittings. CISPI-Type coupling for Hubless cast iron soil pipe and fittings and Hubless joints.

Domestic water distribution piping:

Below Grade: 4 to 6 inch: PVC Schedule 80.Per ASTM D2648; F441; F442 3 inch and smaller: PVC Schedule 80 Per ASTM D2648; F441;F442

Provide blue insulated copper tracer wire or approved conductor installed adjacent to piping. Tracer wire shall be no less than 18AWG and insulation suitable for direct burial. Tracer wire shall terminate above ground at each end.

Above Grade:4 to 6 inch: Hard copper tube type "L" wort copper and bronze grooved end, copper tube and grooved end, copper fittings and grooved copper tube and grooved tube fittings joints. 3 inch and smaller: Hard copper tube "L" flanges; and solder joints with alloy, no lead.

Additional notes:

- Implement a Fugitive Dust and Erosion Control Plan (FDECP) that meets or exceeds SCAQMD requirements and the CITY'S FDECP for this site.
- Comply with the General Construction Activity Storm Water Permit and the Storm Water Pollution Prevention Plan for this site.
- Comply with the requirements of NOTIFICATION OF HAZARDOUS SUBSTANCES of the General Conditions.
- Protect sensitive habitats and species through the use of fencing, to prohibit construction personnel access to adjacent habitat areas, and with dust control measures of the FDECP, and such other measures that may be called for by the Environmental Impact Report for this project.
- Comply with the following emission control measures to minimize construction activity emissions, at no additional cost to the CITY:
- Comply with the more stringent requirements of the current CITY or local noise ordinances.
- For projects under the City's Homeless Facilities Program, construction shall comply with a construction management plan with conditions incorporated into the project design that may include any of the following, or any other condition, as necessary to protect the health, safety, or convenience of affected sensitive receptors in the surrounding neighborhood :
 - 1. Construction or use of noise barriers, enclosures, or blankets, as noted in CEQA
 - 2. Use of low-noise, low vibration, low emission-generating construction equipment, e.g., Tier 4 engines;
 - 3. Maintenance of mufflers and ancillary noise abatement equipment;
 - 4. Use of vibration pile drivers and other techniques that result in less noise than impact pile drivers;
 - 5. Scheduling high noise producing activities during periods that are least sensitive;
 - 6. Routing construction related truck traffic away from noise-sensitive areas;
 - 7. Reducing construction vehicle speeds.

Applicable Building Code and Regulatory Requirements (Not limited to these listed)

- 2020 City of LA Buiding Code (2019 California Building Code with City of LA Code Amendments)
- National Electrical Code
- California Electrical Code
- Los Angeles Electrical Code
- California Building Energy Efficiency Standards
- California Building Energy Standards
- California Fire Code
- LADWP Commercial Service Construction Standards
- LADWP Electrical Service Requirements
- BOE Standards
- Telecommunications Industry Association StandardS
- City of Los Angeles Research reports (LARR)
- Americans with Disabilities Act (ADA)
- CAL/OSHA (Occupational and safety code)

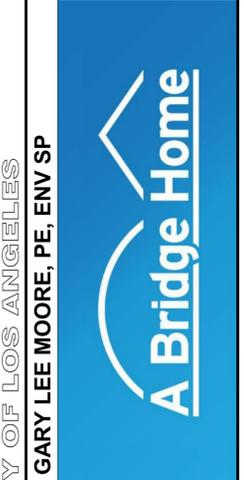


SPECIFICATIONS	COUNCIL DISTRICT:	14	G002	Scale:
	DATE:	03/26/21		
	DRAWN BY:	EV		
	CHECKED BY:	MQ		

CITY ENGINEER

CD14 ARROYO SECO PALLET SHELTERS

ARROYO SECO PARKWAY (ALLEY) BETWEEN AVE 60 & AVE 64, 90042

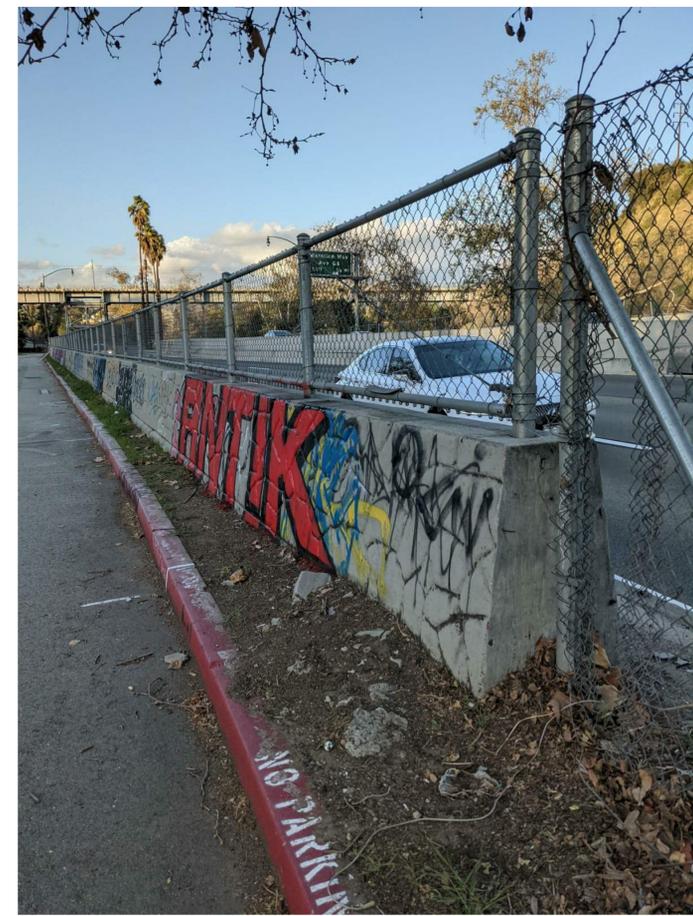




(E) PLAY AREA ON NORTHERN PARK SPACE



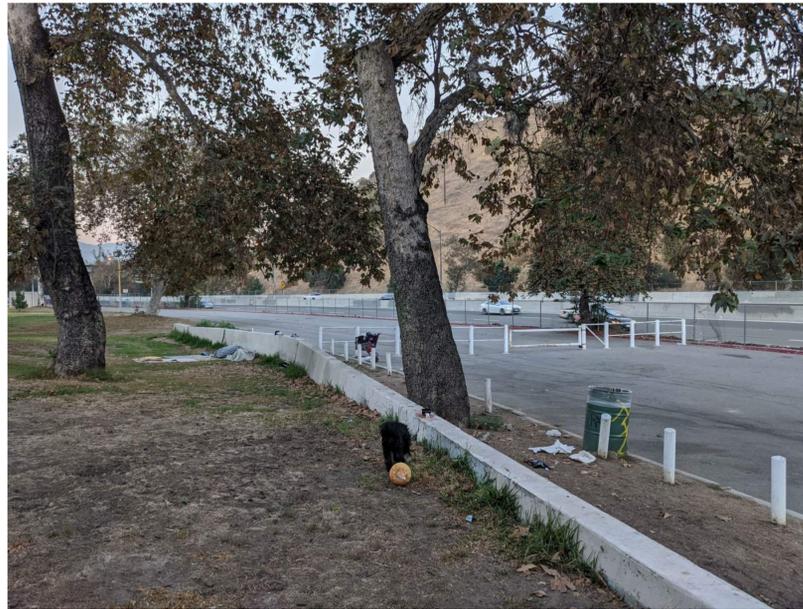
(E) ENTRY ROAD ON NORTH



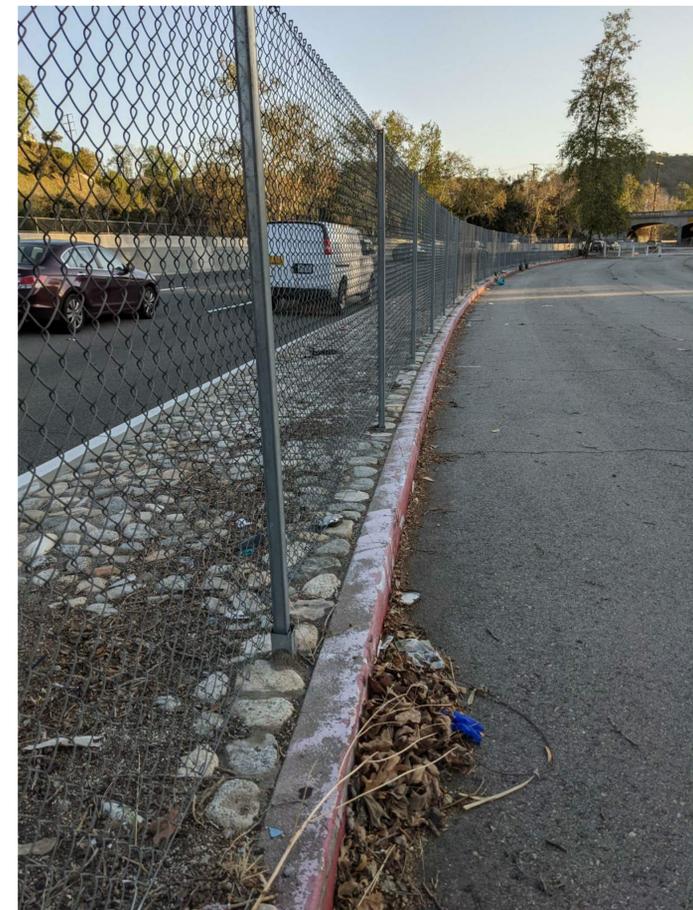
(E) FREEWAY DIVIDER WALL, NEW FENCE ALONG STRIP OF LANDSCAPING



(E) ASPHALT PAVING. FREEWAY DIVIDER BEYOND



(E) LOW WALL, BOLLARDS, AND GATE



(E) FREEWAY FENCING. NEW K-RAIL ALONG CURB.



NORTHERN END OF (E) PARK PARKING



WALKWAY ENTRY FROM AVENUE 60

BUREAU OF ENGINEERING
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEER



CD14 ARROYO SECO PALLET PROJECT

PROJECT SCOPE:
 NEW EMERGENCY HOMELESS PALLET SHELTER PROJECT IN AN EXISTING CITY. DEPARTMENT OF RECREATION AND PARKS, PARKING LOT. THE PROJECT WILL PROVIDE SLEEPING CABINS AND BEDS FOR UP TO 224 INDIVIDUALS. SITE AMENITIES INCLUDE MOBILE HYGIENE UNITS WITH RESTROOMS, SHOWERS, LAVATORIES, AND DRINKING FOUNTAINS; LAUNDRY STATION; DESIGNATED SEATING AREAS WITH MOBILE UMBRELLAS FOR FOOD SERVICES; AND PALLETS FOR ADMINISTRATIVE OFFICES AND COUNSELING. SITE PERIMETER TO BE FENCED WITH PRIVACY SLATS AND ACOUSTICAL BLANKETS ALONG FREEWAY.

- SITE COMPONENTS BREAKDOWN:**
- EMERGENCY SLEEPING CABINS (PALLET 64): 115
 - 109 STANDARD - DOUBLE BEDS
 - 06 ACCESSIBLE - SINGLE BEDS
 - TOTAL BEDS: 224**
- GUARD STATIONS (PALLET 64): 02
 - MOBILE HYGIENE UNITS: 3 REQUIRED
 - ADMIN CABINS (PALLET 100): 06
 - 8X20 LAUNDRY STATION STRUCTURE W/SINK
 - MOBILE TABLES WITH UMBRELLAS: 32 MINIMUM, PROVIDE 2 EXTRA UMBRELLAS.
 - SITE BENCHES: 6 MINIMUM, AS SHOWN.

UTILITIES:

ELECTRICAL: SITE WILL BE SERVED USING OVERHEAD POWER FROM THE SOUTH, TAKING POWER FROM THE POLE LOCATED AT BENNER STREET AND AVENUE 60. SITE REQUIRES A 600A, 480/277V, 3 PHASE, 4 WIRE OVERHEAD SERVICE.

WATER: 12" WATER STEEL PIPE ON AVENUE 60 FOR DOMESTIC AND FIRE WATER.

SEWER: 30" SEWER MAIN (PIPE ID 4671217046712169A) ON ARROYO SECO PKWY FOR THE SANITARYSEWER

SITE INFORMATION :

ADDRESS/LEGAL INFORMATION	
PIN NUMBER	151-5A231 36
LOT/PARCEL AREA (CALCULATED)	288,053.8 (sq ft)
THOMAS BROTHERS GRID	PAGE 595 - GRID D2,D3
ASSESSOR PARCEL NO. (APN)	5492021900
TRACT	RALPH ROGER'S ADDITION TO MINERAL PARK TRACT
MAP REFERENCE	M B 7-46/47
BLOCK	NONE
LOT	PT LT C
ARB (LOT CUT REFERENCE)	NONE
MAP SHEET	151-5A231

JURISDICTIONAL INFORMATION	
COMMUNITY PLAN AREA	NORTHEAST LOS ANGELES
AREA PLANNING COMMISSION	EAST LOS ANGELES
NEIGHBORHOOD COUNCIL	HISTORIC HIGHLAND PARK
COUNCIL DISTRICT	CD14 - KEVIN DE LEON
CENSUS TRACT #	1837.01
LADBS DISTRICT OFFICE	LOS ANGELES METRO

PLANNING AND ZONING INFORMATION	
ZONING	OS-1XL
ZONING INFORMATION (ZI)	ZI-2440 Historic Preservation Overlay Zone: Highland Park-Garvanza
	ZI-2129 State Enterprise Zone: East Los Angeles
	ZI-1117 MTA Right-of-Way (ROW) Project Area
	ZI-2452 Transit Priority Area in the City of Los Angeles
	ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses

GENERAL PLAN LAND USE	OPEN SPACE
GENERAL PLAN NOTE(S)	YES
HILLSIDE AREA (ZONING CODE)	YES
SPECIFIC PLAN AREA	NONE
HISTORIC PRESERVATION REVIEW	YES
HISTORIC PRESERVATION OVERLAY ZONE	HIGHLAND PARK - GARVANZA
MILLS ACT CONTRACT	NONE
CDO: COMMUNITY DESIGN OVERLAY	NONE
POD: PEDESTRIAN ORIENTED DISTRICTS	NONE
RIO: RIVER IMPLEMENTATION OVERLAY	NO
STREETSCAPE	NO
ADAPTIVE REUSE INCENTIVE AREA	NONE
AFFORDABLE HOUSING LINKAGE FEE	
RESIDENTIAL MARKET AREA	MEDIUM
NON-RESIDENTIAL MARKET AREA	MEDIUM
TRANSIT ORIENTED COMMUNITIES (TOC)	TIER 3
RPA: REDEVELOPMENT PROJECT AREA	NONE
CENTRAL CITY PARKING	NO
DOWNTOWN PARKING	NO
BUILDING LINE	NONE
500 FT SCHOOL ZONE	NO
500 FT PARK ZONE	NO
	ACTIVE: HERMON PARK IN THE ARROYO SECO
	ACTIVE: ARROYO SECO PARK
	ACTIVE: HERMON PARK IN THE ARROYO SECO DOG PARK

ASSESSOR AND ADDITIONAL INFORMATION	
ASSESSOR PARCEL NO. (APN)	5492021900
OWNERSHIP (ASSESSOR)	L A CITY
AIRPORT HAZARD	NONE
COASTAL ZONE	NONE
FARMLAND AREA	NOT MAPPED
URBAN AGRICULTURE INCENTIVE ZONE	YES
VERY HIGH FIRE HAZARD SEVERITY ZONE	NO
FIRE DISTRICT NO. 1	NO
FLOOD ZONE	OUTSIDE FLOOD ZONE
WATERCOURSE	NO
METHANE HAZARD SITE	NONE
HIGH WIND VELOCITY AREAS	NO
SPECIAL GRADING AREA (BOE BASIC GRID MAP A-13372)	YES
WELLS	NONE

- FIRE DEPARTMENT REQUIREMENTS**
- TO PROVIDE ONE NEW FIRE HYDRANT, CENTRALLY LOCATED, AS PRE-APPROVED BY LAFD. GENERAL CONTRACTOR TO VERIFY FINAL LOCATION WITH LAFD.
 - LAFD APPARATUS WIDE ACCESS LANE THROUGH SITE, VIA ARROYO SECO PARKWAY ALLEY. MINIMUM WIDTH TO BE 17' CLEAR, AS PRE-APPROVED WITH LAFD. LANE TO REMAIN CLEAR AT ALL TIMES.
 - PROVIDE ONE SMOKE ALARM IN EACH SLEEPING UNIT, INTERCONNECTED WITH OTHER UNITS' SMOKE ALARMS SO THE ACTIVATION OF ONE WILL ACTIVATE ALL OTHERS. MAY BE INTERCONNECTED IN CLUSTERS WITHIN 6' OF EACH OTHER.
 - PROVIDE AN INTERIOR FIRE EXTINGUISHER IN EACH UNIT.
 - PROVIDE ADDITIONAL FIRE EXTINGUISHERS THROUGHOUT SITE, SPACED NOT MORE THAN 50 FEET APART. PROVIDE AN EXTERIOR USE CASING FOR EXTINGUISHER. AVOID ATTACHING TO PALLET STRUCTURES, IF POSSIBLE.

VICINITY PLAN
 1/64" = 1'-0"



BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

GARY LEE MOORE, PE, ENV SP

CITY ENGINEER

VICINITY AND SITE DATA

COUNCIL DISTRICT: 14

DATE: 03/26/21

DRAWN BY: EV

CHECKED BY: MQ

Scale: 1/64" = 1'-0"

A001

CD14 ARROYO SECO PALLET SHELTERS

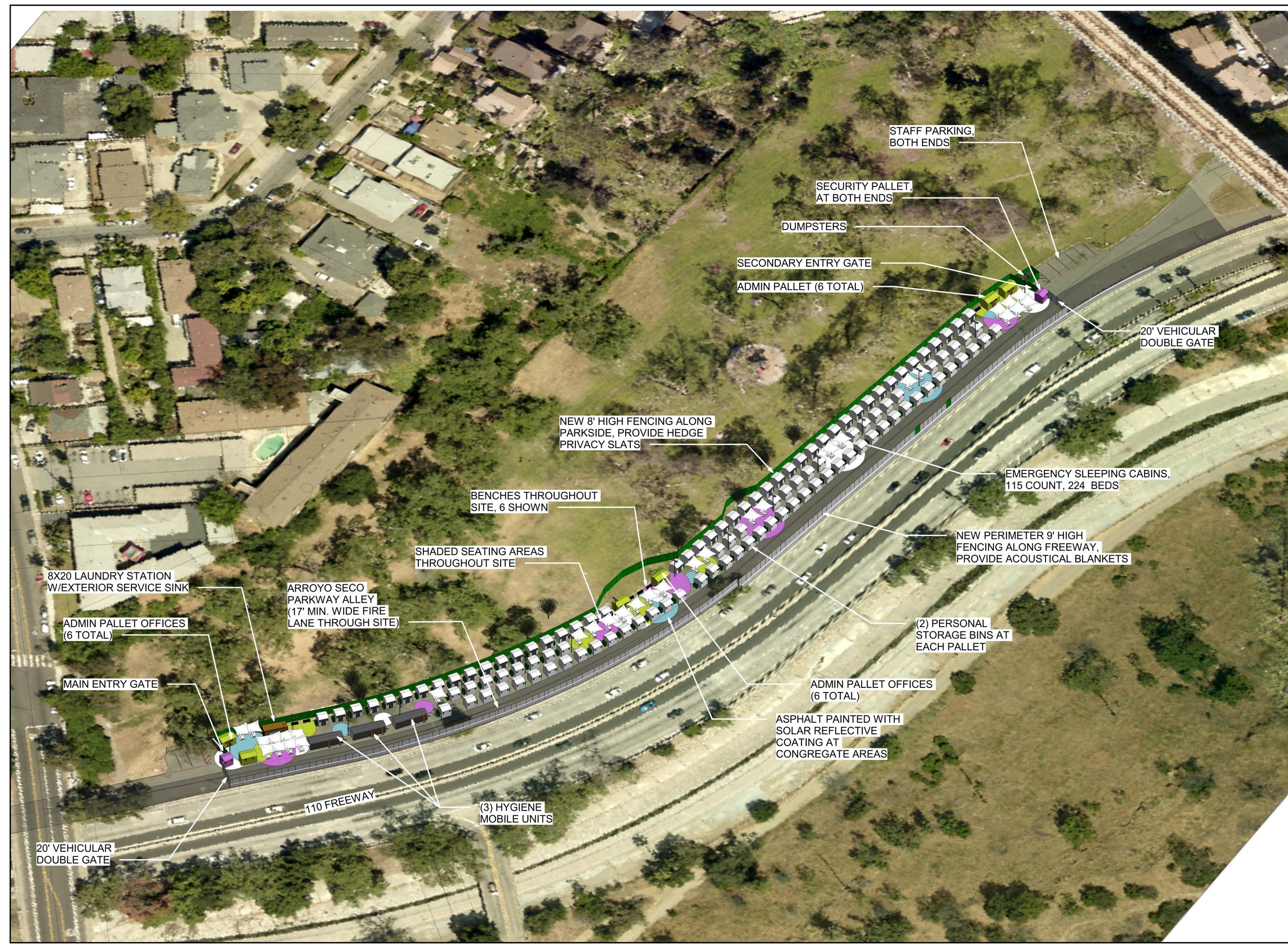
ARROYO SECO PARKWAY (ALLEY)

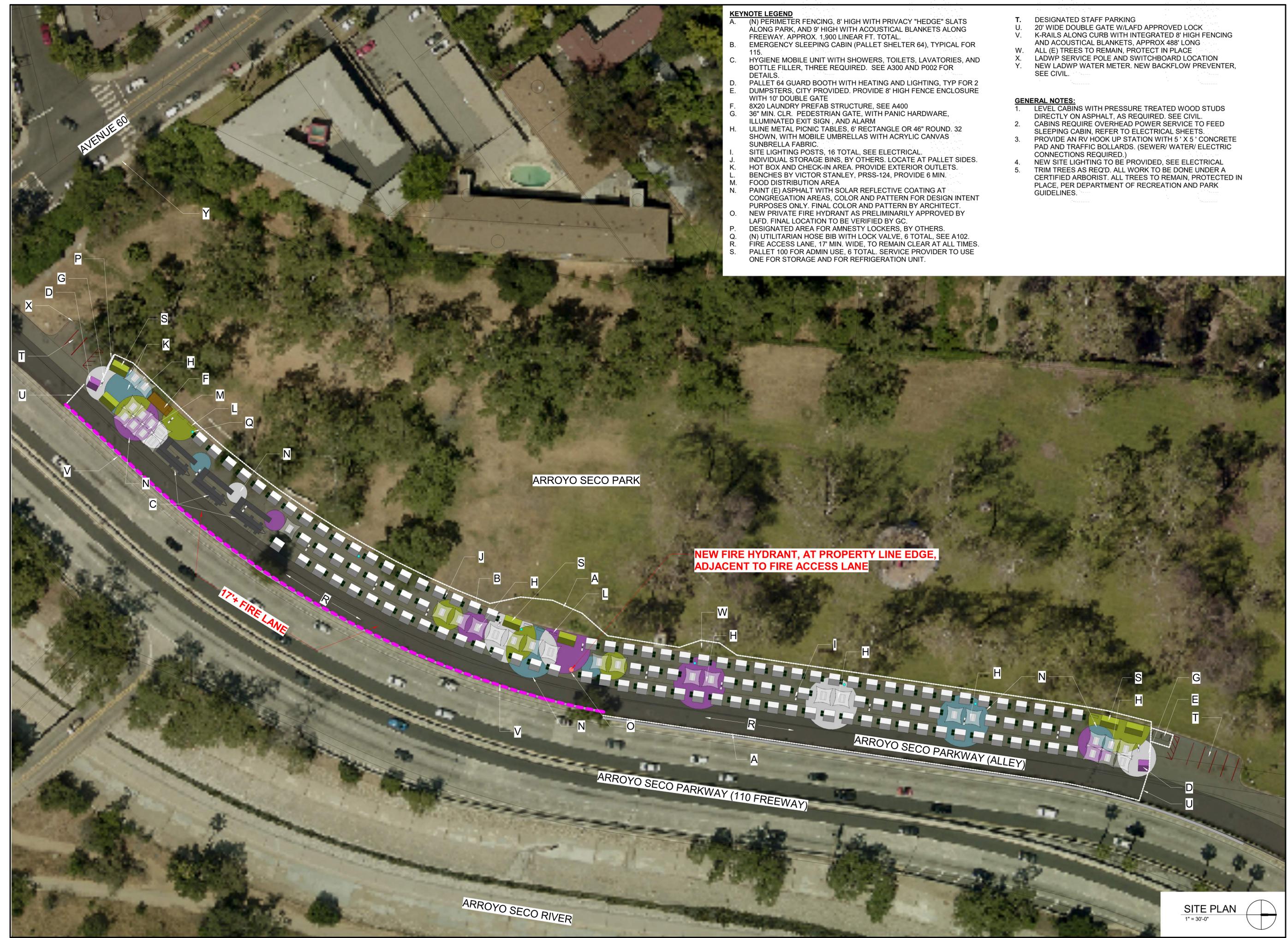
BETWEEN AVE 60 & AVE 64, 90042

A Bridge Home

WO#E1908842

SHEET 10 OF 47





KEYNOTE LEGEND

- A. (N) PERIMETER FENCING, 8' HIGH WITH PRIVACY "HEDGE" SLATS ALONG PARK, AND 9' HIGH WITH ACOUSTICAL BLANKETS ALONG FREEWAY. APPROX. 1,900 LINEAR FT. TOTAL.
- B. EMERGENCY SLEEPING CABIN (PALLET SHELTER 64), TYPICAL FOR 115.
- C. HYGIENE MOBILE UNIT WITH SHOWERS, TOILETS, LAVATORIES, AND BOTTLE FILLER, THREE REQUIRED. SEE A300 AND P002 FOR DETAILS.
- D. PALLET 64 GUARD BOOTH WITH HEATING AND LIGHTING, TYP FOR 2 DUMPSTERS, CITY PROVIDED. PROVIDE 8' HIGH FENCE ENCLOSURE WITH 10' DOUBLE GATE
- F. 8X20 LAUNDRY PREFAB STRUCTURE, SEE A400
- G. 36" MIN. CLR. PEDESTRIAN GATE, WITH PANIC HARDWARE, ILLUMINATED EXIT SIGN, AND ALARM
- H. ULINE METAL PICNIC TABLES, 6' RECTANGLE OR 46" ROUND, 32 SHOWN, WITH MOBILE UMBRELLAS WITH ACRYLIC CANVAS SUNBRELLA FABRIC.
- I. SITE LIGHTING POSTS, 16 TOTAL, SEE ELECTRICAL.
- J. INDIVIDUAL STORAGE BINS, BY OTHERS. LOCATE AT PALLET SIDES.
- K. HOT BOX AND CHECK-IN AREA, PROVIDE EXTERIOR OUTLETS.
- L. BENCHES BY VICTOR STANLEY, PRSS-124, PROVIDE 6 MIN. FOOD DISTRIBUTION AREA
- N. PAINT (E) ASPHALT WITH SOLAR REFLECTIVE COATING AT CONGREGATION AREAS, COLOR AND PATTERN FOR DESIGN INTENT PURPOSES ONLY. FINAL COLOR AND PATTERN BY ARCHITECT.
- O. NEW PRIVATE FIRE HYDRANT AS PRELIMINARILY APPROVED BY LAFD. FINAL LOCATION TO BE VERIFIED BY GC.
- P. DESIGNATED AREA FOR AMNESTY LOCKERS, BY OTHERS.
- Q. (N) UTILITARIAN HOSE BIB WITH LOCK VALVE, 6 TOTAL, SEE A102.
- R. FIRE ACCESS LANE, 17' MIN. WIDE, TO REMAIN CLEAR AT ALL TIMES.
- S. PALLET 100 FOR ADMIN USE, 6 TOTAL. SERVICE PROVIDER TO USE ONE FOR STORAGE AND FOR REFRIGERATION UNIT.

- T. DESIGNATED STAFF PARKING
- U. 20' WIDE DOUBLE GATE W/LAFD APPROVED LOCK
- V. K-RAILS ALONG CURB WITH INTEGRATED 8' HIGH FENCING AND ACOUSTICAL BLANKETS, APPROX 488' LONG
- W. ALL (E) TREES TO REMAIN, PROTECT IN PLACE
- X. LADWP SERVICE POLE AND SWITCHBOARD LOCATION
- Y. NEW LADWP WATER METER. NEW BACKFLOW PREVENTER, SEE CIVIL.

GENERAL NOTES:

1. LEVEL CABINS WITH PRESSURE TREATED WOOD STUDS DIRECTLY ON ASPHALT, AS REQUIRED. SEE CIVIL.
2. CABINS REQUIRE OVERHEAD POWER SERVICE TO FEED SLEEPING CABIN, REFER TO ELECTRICAL SHEETS.
3. PROVIDE AN RV HOOK UP STATION WITH 5' X 5' CONCRETE PAD AND TRAFFIC BOLLARDS. (SEWER/ WATER/ ELECTRIC CONNECTIONS REQUIRED.)
4. NEW SITE LIGHTING TO BE PROVIDED, SEE ELECTRICAL TRIM TREES AS REQD. ALL WORK TO BE DONE UNDER A CERTIFIED ARBORIST. ALL TREES TO REMAIN, PROTECTED IN PLACE, PER DEPARTMENT OF RECREATION AND PARK GUIDELINES.

NEW FIRE HYDRANT, AT PROPERTY LINE EDGE, ADJACENT TO FIRE ACCESS LANE

17'+ FIRE LANE

SITE PLAN
1" = 30'-0"



CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING

ENGINEERING

CITY OF LOS ANGELES

SITE PLAN

COUNCIL DISTRICT: 14

DATE: 03/26/21

DRAWN BY: EV

CHECKED BY: MQ

A101

Scale: 1" = 30'-0"

CITY ENGINEER
GARY LEE MOORE, PE, ENV SP

CD14 ARROYO SECO

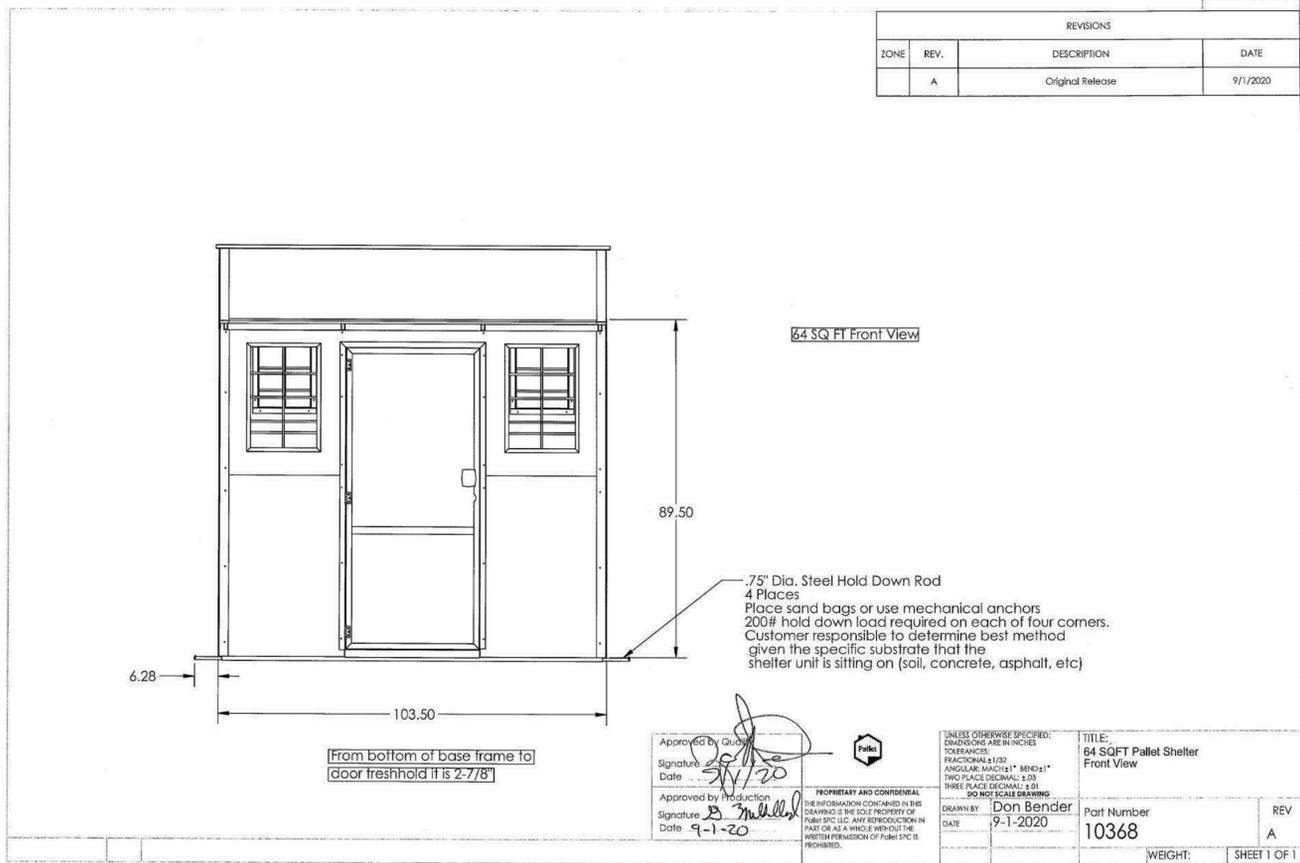
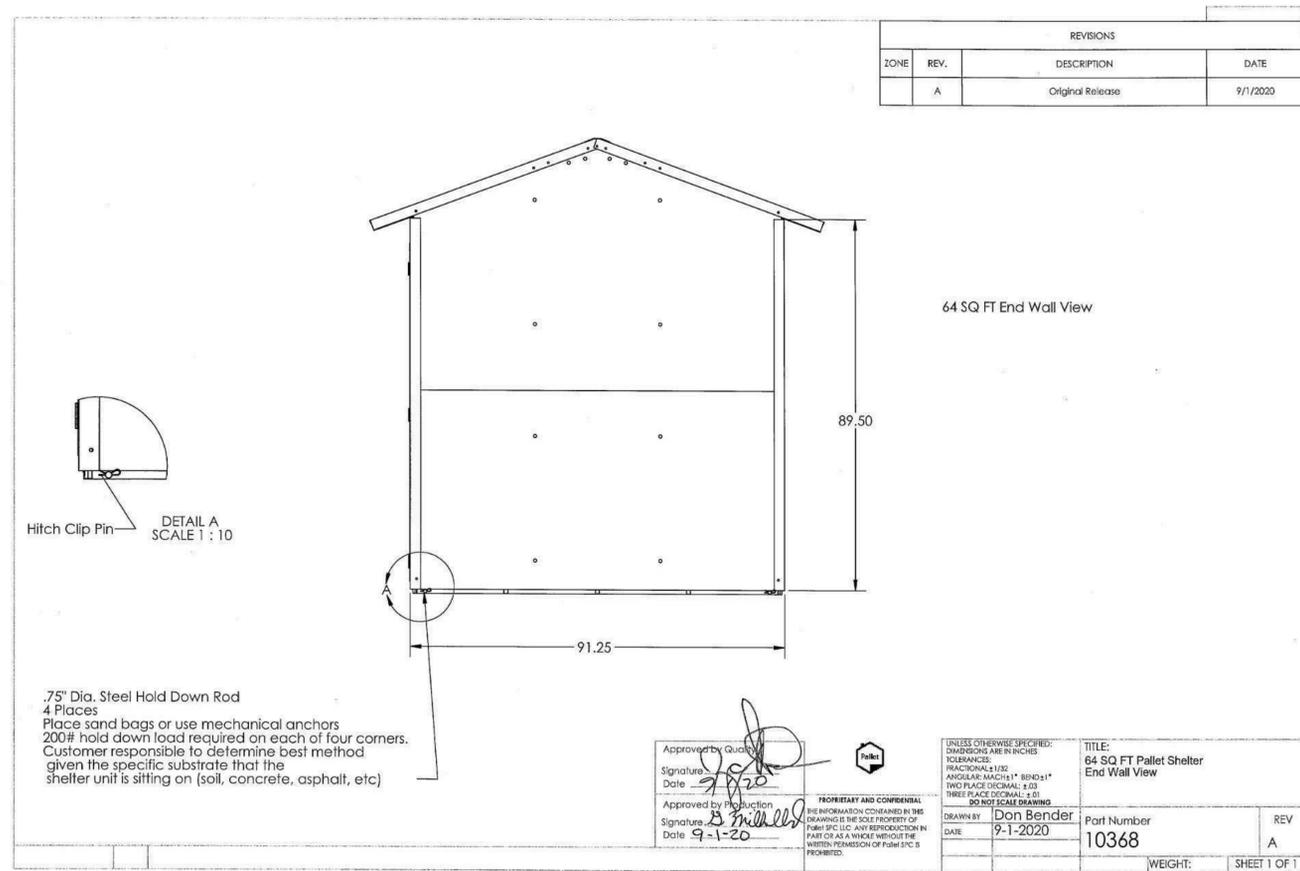
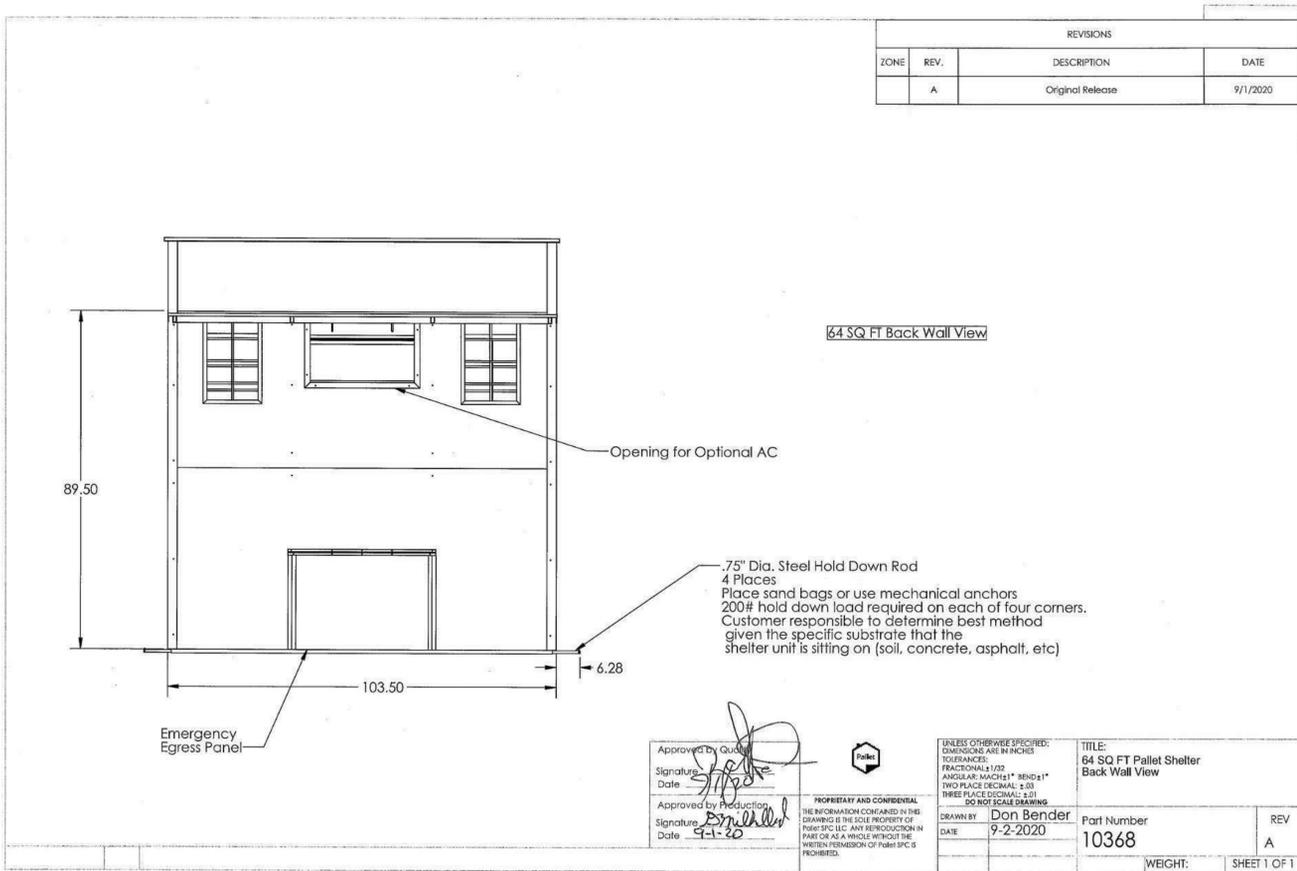
PALLET SHELTERS

ARROYO SECO PARKWAY (ALLEY)
BETWEEN AVE 60 & AVE 64, 90042

A Bridge Home

WO#E1908842

SHEET 12 OF 47



PROVIDED BY THE CITY

CITY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING

ENGINEERING

CITY OF LOS ANGELES

PALLET 64 ELEVATIONS

COUNCIL DISTRICT: 14

DATE: 03/26/21

DRAWN BY: EV

CHECKED BY: MQ

Scale:

A202

CITY ENGINEER

GARY LEE MOORE, PE, ENV SP

CD14 ARROYO SECO

PALLET SHELTERS

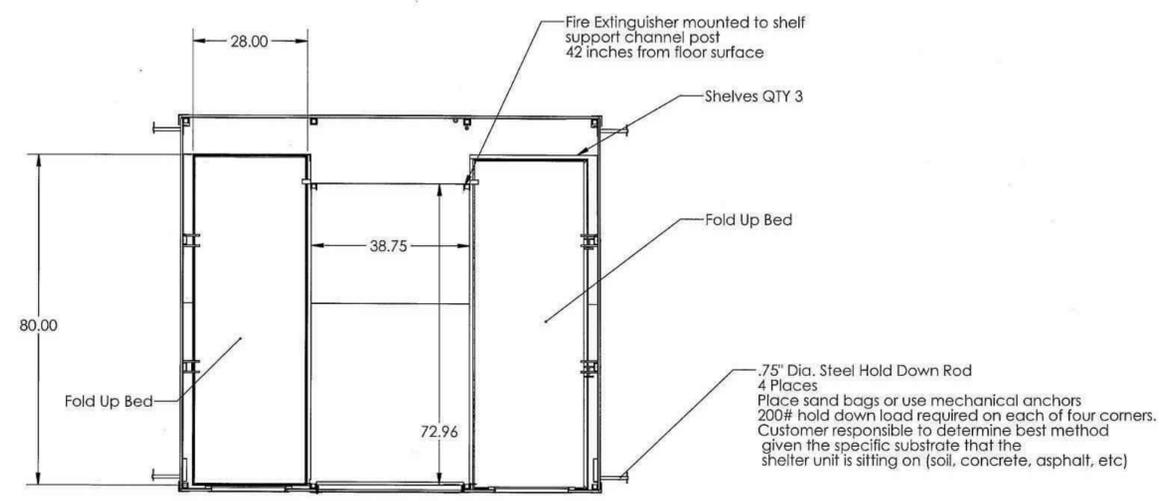
ARROYO SECO PARKWAY (ALLEY)
BETWEEN AVE 60 & AVE 64, 90042

CITY OF LOS ANGELES

WO#E1908842

SHEET 17 OF 47

REVISIONS			
ZONE	REV.	DESCRIPTION	DATE
	A	Original Release	9/1/2020



Approved by: *[Signature]*
 Signature: *[Signature]*
 Date: 9-1-20

Paltek

UNLESS OTHERWISE SPECIFIED:
 DIMENSIONS ARE IN INCHES
 TOLERANCES:
 FRACTIONAL: ±1/32
 ANGULAR: MACH 1° ±10'
 TWO PLACE DECIMAL: ±.03
 THREE PLACE DECIMAL: ±.01
 DO NOT SCALE DRAWING

PROPRIETARY AND CONFIDENTIAL
 THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF Paltek SPC LLC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF Paltek SPC LLC IS PROHIBITED.

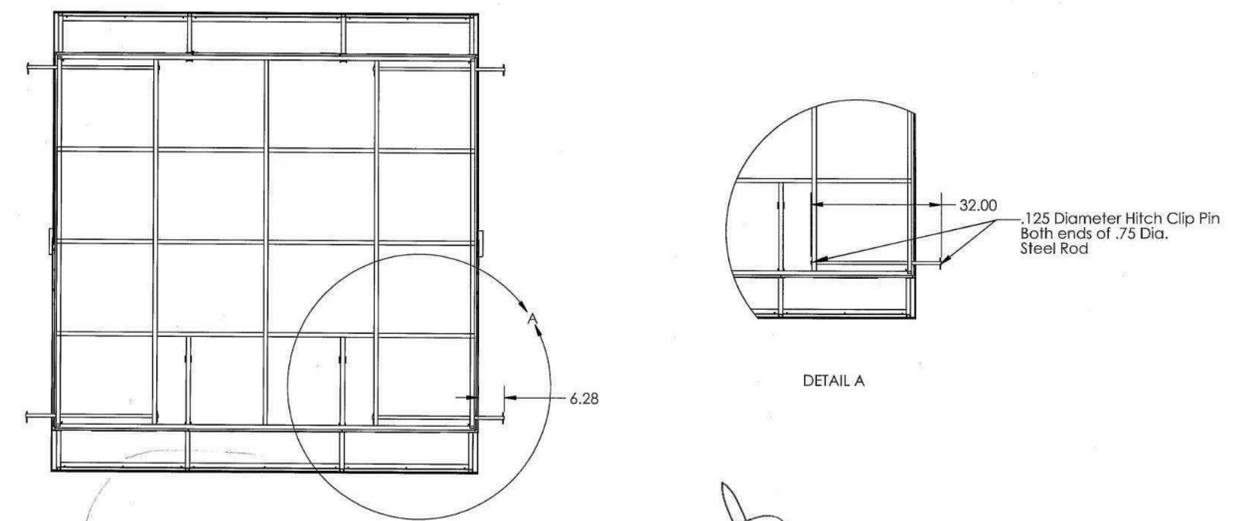
TITLE: 64 SQ FT Pallet Shelter
 Plan View

DRAWN BY: Don Bender
 DATE: 9-1-2020

Part Number: 10368
 REV: A

WEIGHT: SHEET 1 OF 1

REVISIONS			
ZONE	REV.	DESCRIPTION	DATE
	A	Original Release	9/1/2020



Approved by: *[Signature]*
 Signature: *[Signature]*
 Date: 9-1-20

Paltek

UNLESS OTHERWISE SPECIFIED:
 DIMENSIONS ARE IN INCHES
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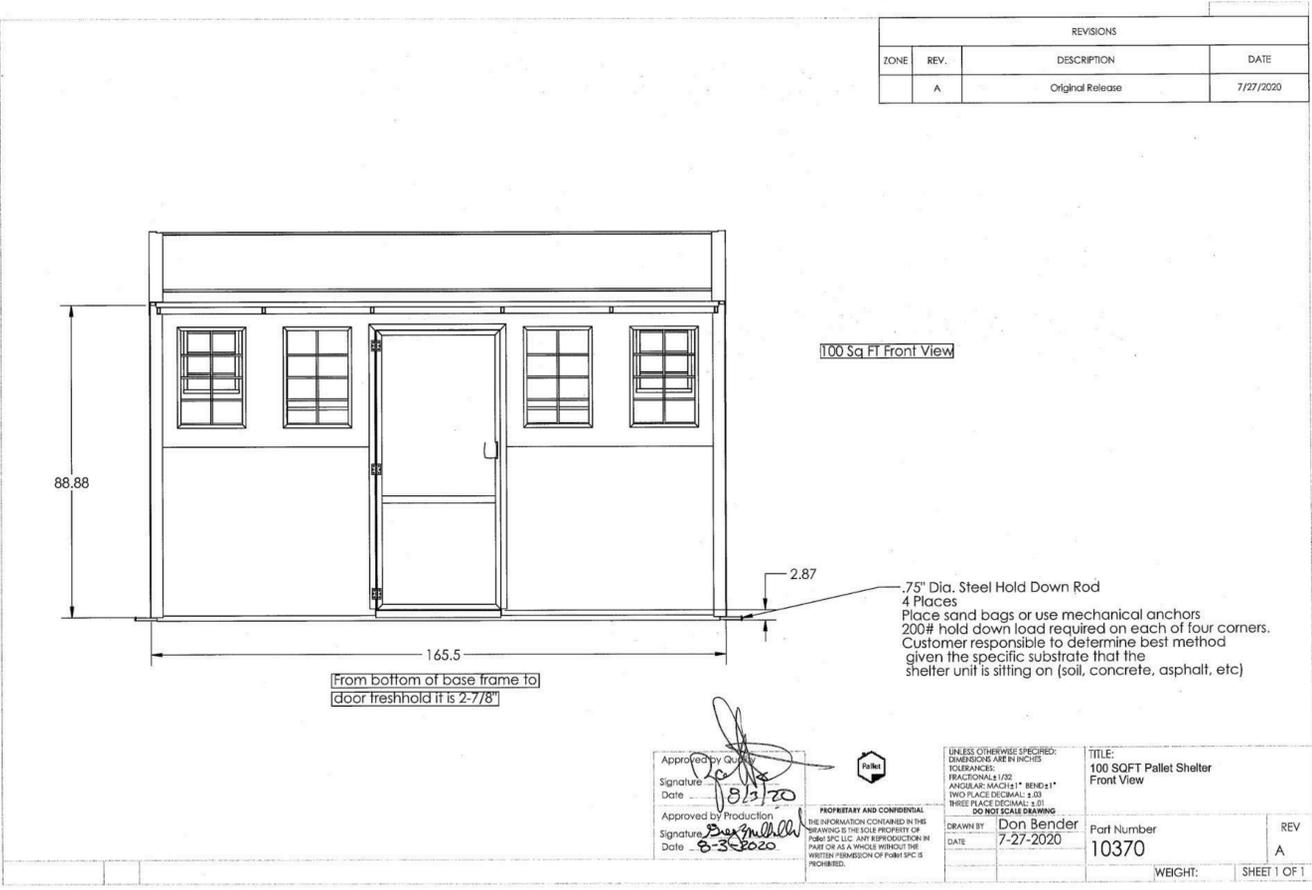
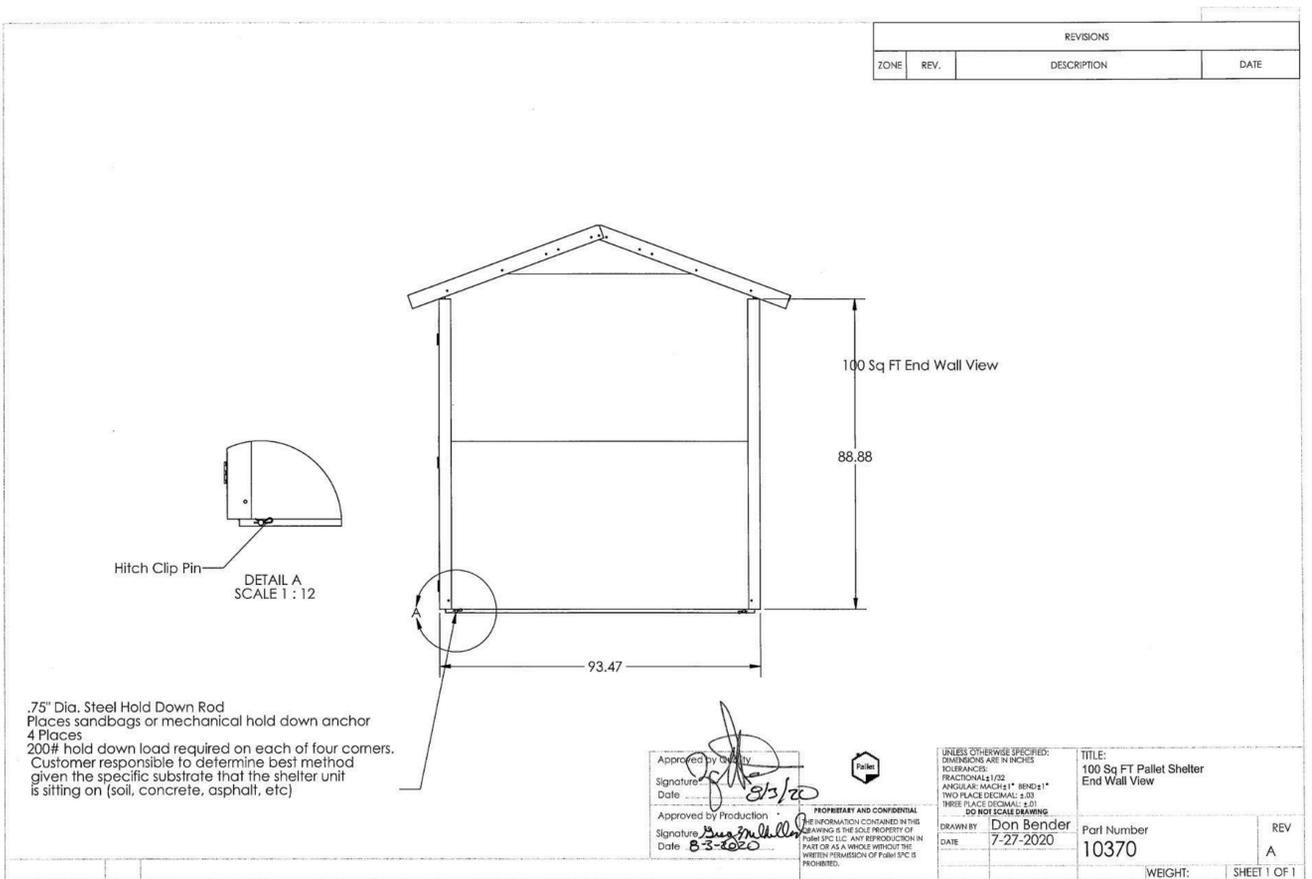
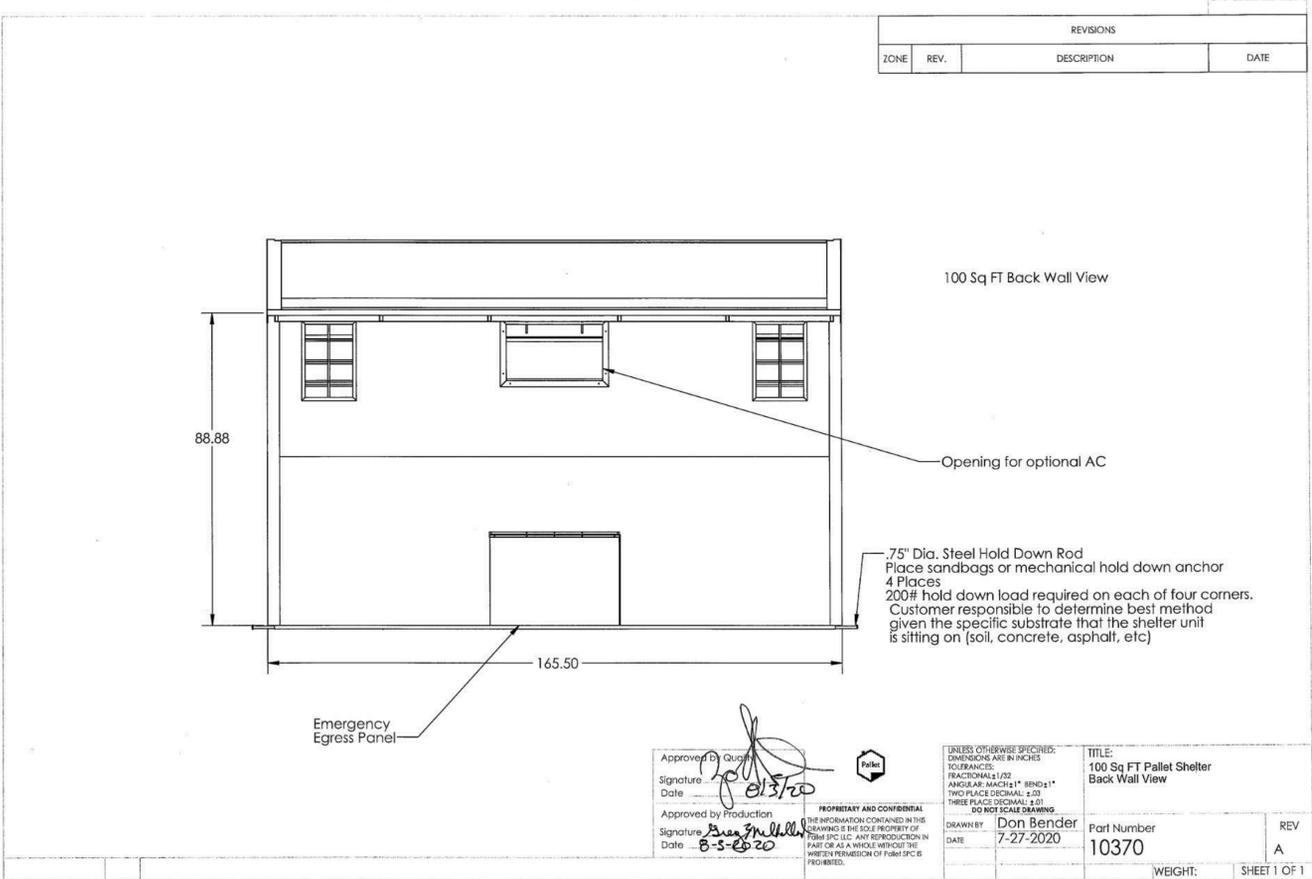
TITLE: Base Frame Bottom View
 64 SQ FT Pallet Shelter

DRAWN BY: Don Bender
 DATE: 9-1-2020

Part Number: 10368
 REV: A

WEIGHT: SHEET 1 OF 1

PROVIDED BY THE CITY



NOTE:
 1. CONTRACTOR TO PROVIDE "ADMIN OFFICE" SIGNAGE.
 2. ALL 6 ADMIN PALLET 100'S TO BE PAINTED ACCENT COLORS.

PROVIDED BY THE CITY

CITY OF LOS ANGELES

DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING

CITY ENGINEER

GARY LEE MOORE, PE, ENV SP

CD14 ARROYO SECO
PALLET SHELTERS
ARROYO SECO PARKWAY (ALLEY)
BETWEEN AVE 60 & AVE 64, 90042

ENGINEERING
CITY OF LOS ANGELES

PALLET 100 ELEVATIONS

A204

COUNCIL DISTRICT: 14

DATE: 03/26/21

DRAWN BY: EV

CHECKED BY: MQ

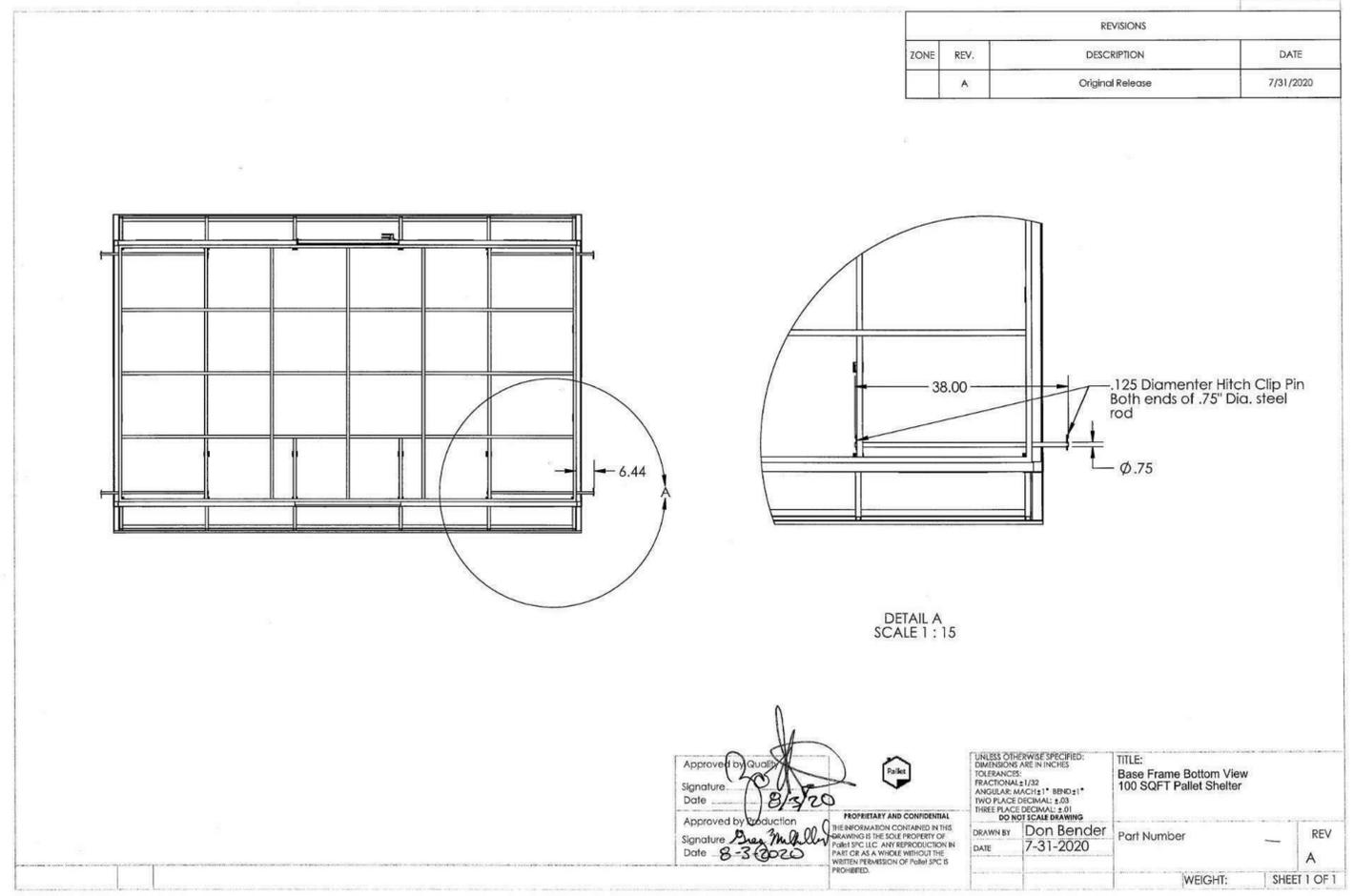
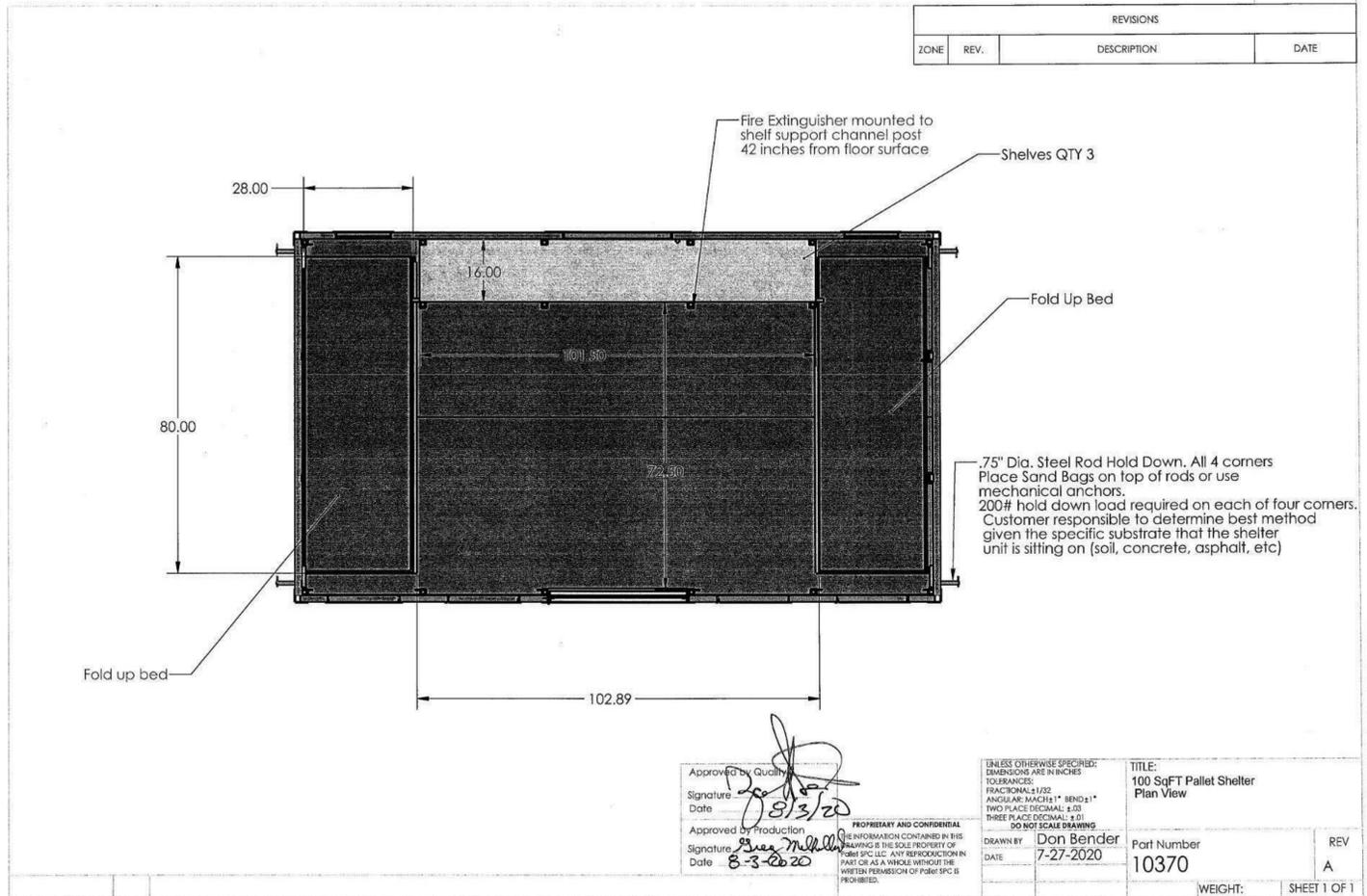
Scale:

WO#E1908842

SHEET 19 OF 47

A Bridge Home

BUREAU OF ENGINEERING DEPARTMENT OF PUBLIC WORKS CITY OF LOS ANGELES



PROVIDED BY THE CITY

ACCESSORIES PROVIDED

- TOWEL DISPENSER
- TOILET PAPER DISPENSER
- SOAP DISPENSER
- SURFACE MOUNTED SEAT COVER DISPENSER

NOTE:

1) CONTRACTOR TO INSTALL PROVIDED HYGIENE UNIT ACCESSORIES

2) CONTRACTOR TO INSTALL REQUIRED DOOR SIGNAGE. ALL SIGNAGE TO INDICATE "GENDER NEUTRAL" STALLS. PROVIDE ACCESSIBILITY SIGNAGE FOR THE THREE ADA STALLS.

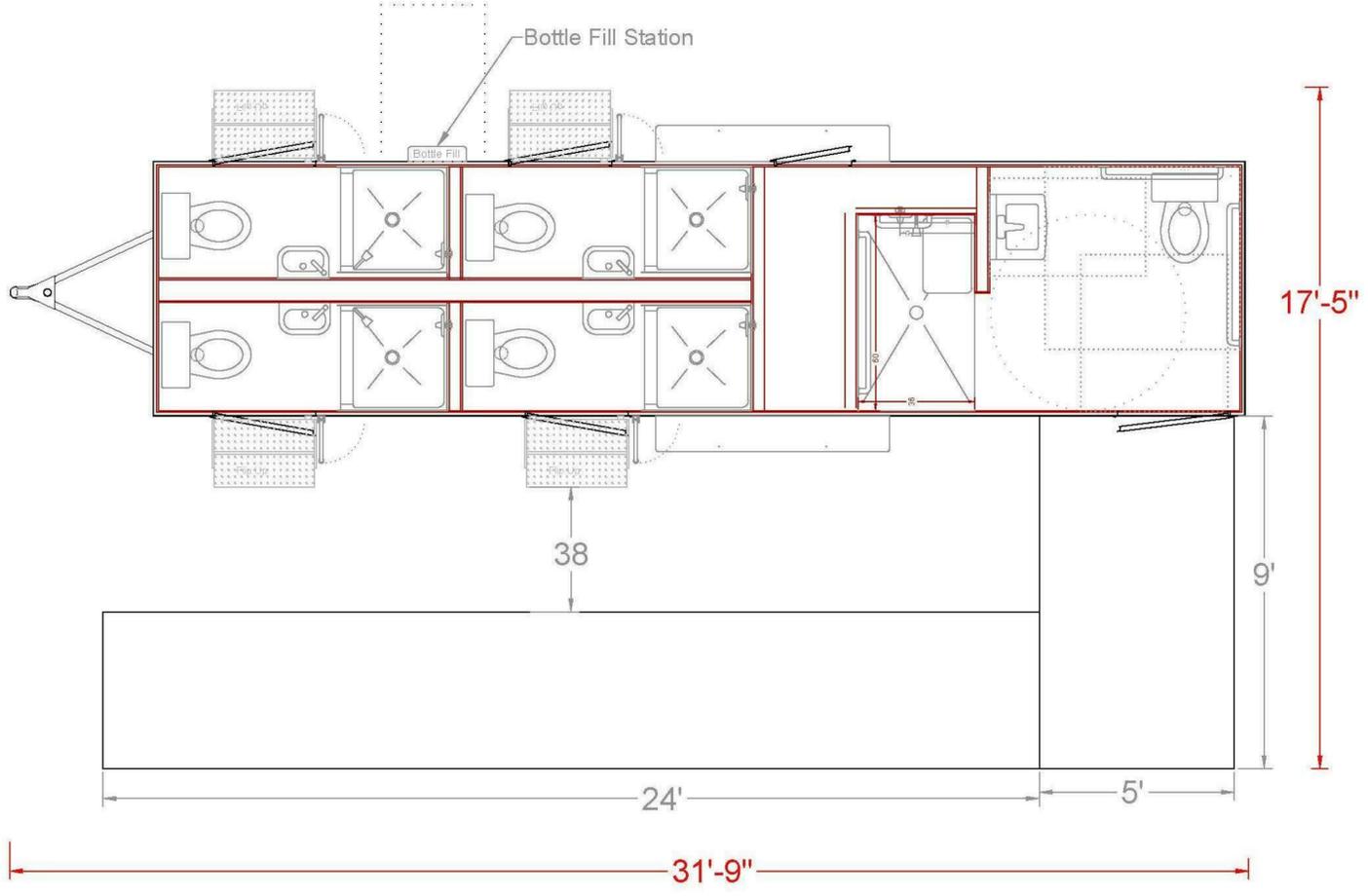
3) PROVIDE A "STAFF ONLY" SIGN TO ONE OF THE THREE ADA STALLS.

4) TRAILER WILL BE DELIVERED TO SITE. CONTRACTOR RESPONSIBLE TO SET AND LEVEL THE TRAILER

5) RAMP WILL BE DELIVERED TO SITE IN A CRATE. CONTRACTOR RESPONSIBLE TO ASSEMBLE AND ATTACH RAMP.

SPECIFICATIONS

- LOWEST FLOOR HEIGHT WITH LARGE WASTE TANKS
- ROOFTOP AIR-CONDITIONERS, 13,500 BTU, WITH 5600 BTU HEAT STRIPS INCLUDED
- PORCELAIN RV STYLE WATER-SAVING TOILETS, ONE PINT PER STANDARD FLUSH
- TIMED FAUCETS
- MIRRORS
- LINOLEUM FLOORS, SINGLE PIECE IN EACH ROOM PROTECTS THE TRAILER FROM WATER DAMAGE
- POWDER COATED TOILET PARTITIONS
- URINAL PRIVACY SCREENS
- STANDARD FIBERGLASS WALL PANELS, ATTRACTIVE AND EASY TO CLEAN
- LED INTERIOR LIGHTING, INTERIOR AND EXTERIOR
- TANK LEVEL VISUAL SIGHT LEVEL INDICATOR FOR WASTE TANKS
- WHITE, CHARCOAL OR PEWTER ALUMINUM EXTERIOR SKIN FOR A CORROSIVE FREE LOOK. OTHER EXTERIOR COLORS ARE AVAILABLE UPON REQUEST (MINIMAL CHARGE APPLIES)
- THICK ALUMINUM SKIN (0.40) FOR INCREASED DURABILITY.
- 7,000 LBS INDEPENDENT TORSION SUSPENSION AXLES AND TRAILER RATED RADIAL TIRES HELP PROVIDE SMOOTHER, SAFER TOWING.
- E-Z LUBE HUBS WITH STEEL WHEELS
- MODULAR-STYLED RIMS W/E-COAT PRIME AND POWDER FINISH
- ALL-WHEEL BRAKES W/12 VOLT BREAKAWAY SWITCH AND BATTERY
- D.O.T. PREMIUM LED SUPERIOR TRAILER LIGHTS
- WARRANTY: 5 YEARS ON FRAME AND AXLES, 1 YEAR OVERALL WARRANTY, UNLESS SUPERSEDED BY THEIR MANUFACTURERS WARRANTY.
- WATER FOUNTAIN WILL BE ADDED TO THE END OF THE TRAILER, OUTSIDE THE ACCESSIBLE STALL.



PROVIDED BY THE CITY

B.O.D. ARCHITECTURAL GUIDELINES

1. 8' WIDE, 20' LONG, PREFAB, IN-GROUND STRUCTURE
2. THE STRUCTURAL BUILDING MATERIALS USED IN THE MODIFIED CONTAINERS SHALL BE DESIGNED IN ACCORDANCE WITH THE AISC 360 OR AISI S100, AND SHALL BE IN COMPLIANCE WITH THE CBC. THE PREFAB STRUCTURE INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS FROM LADBS.
3. THE STRUCTURE SHALL CONSIST OF BUT NOT LIMITED TO THE FOLLOWING FULLY PRE-ASSEMBLED ARCHITECTURAL COMPONENTS:
 - A. FLOOR (VINYL PLANKS OVER 5/8" T&G SHEATHING PLYWOOD)
 - B. ROOF: (POLYISOCYANURATE ROOFING BOARDS TO ACHIEVE R-30, WHITE TPO SINGLE-PLY ROOFING MEMBRANE)
 - C. 4" RUBBER WALL BASE
 - D. INTERIOR WALL (4" 18GA COLD-FORMED STEEL C-STUDS, R-15 KRAFT FACED FIBERGLASS INSULATION BAT FORMALDEHYDE FREE, 5/8" GWB W/LEVEL 4 FINISH & 3 COATS SEMI-GLOSS PAINT)
 - E. SMOOTH FIBERGLASS EXTERIOR DOORS (ANSI GRADE 2 DOOR HARDWARE)
 - F. EXTERIOR PAINT (ALL VISIBLE STEEL) 3 COATS
4. ALL GRADES SHALL MEET ACCESSIBILITY REQUIREMENTS OF 2% MAX CROSS SLOPE AND 5% MAX SLOPE IN DIRECTION OF TRAVEL.
5. FLOOR DRAIN WITH TRAP PRIMER REQUIRED IN LAUNDRY AND WATER HEATER ROOM.
6. PLUMBING CRAWL SPACE REQUIRED, SEE P001
7. FLOOR PLAN PROVIDED FOR DESIGN INTENT PURPOSES.

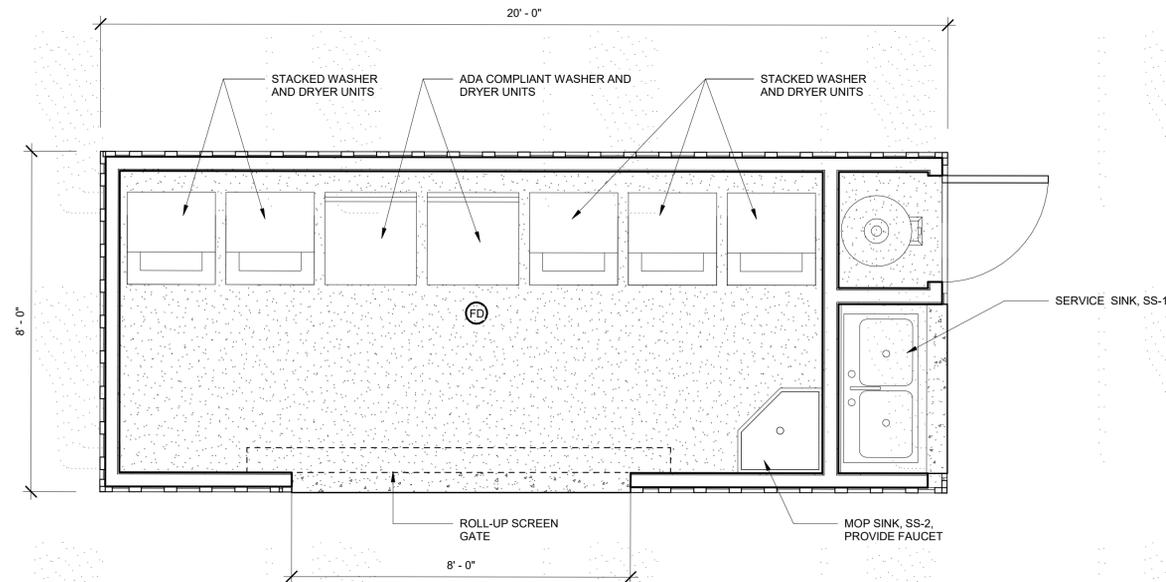
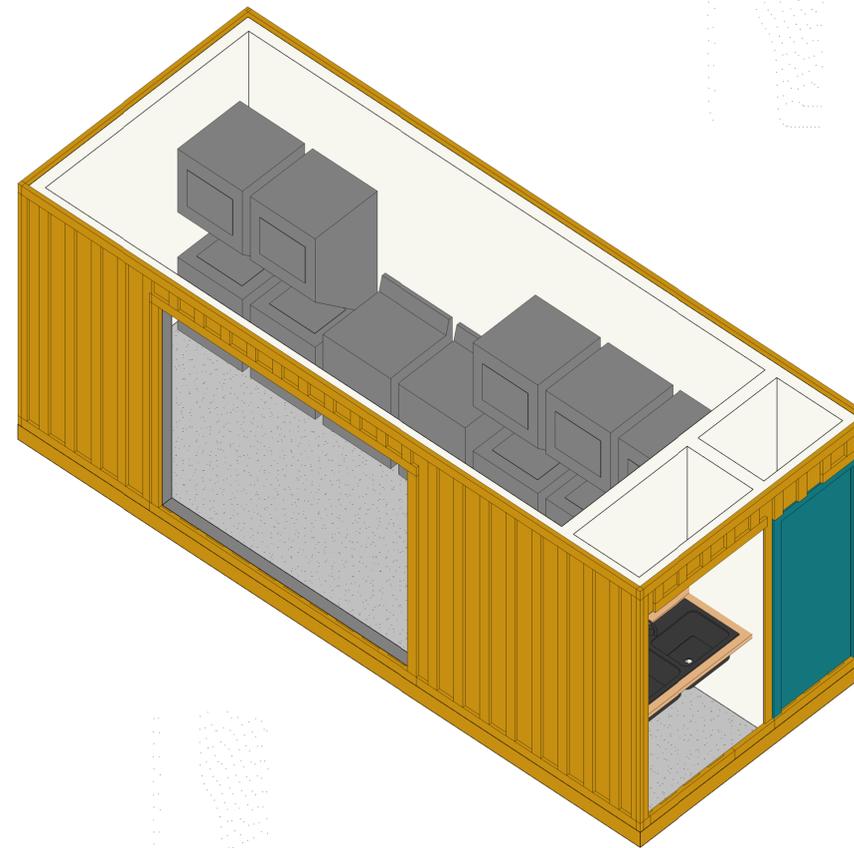
B.O.D. MECHANICAL SPECIFICATIONS

1. PROVIDE ONE (1) BRADFORD WHITE ELECTRIFLEX HD COMMERCIAL ELECTRICAL WATER HEATER: CEHD80(A)153*CF
2. PROVIDE ONE(1) THERM-X-TROL ST-12C-DD THERMAL EXPANSION TANK.

FIRE ALARM AND SMOKE DETECTION SYSTEM

1. A COMPLETE AND WORKING FIRE ALARM AND SMOKE DETECTION SYSTEM AS REQUIRED BY THE LOS ANGELES FIRE DEPARTMENT.

NOTE:
CONTRACTOR TO PROVIDE ACCESSORIES INCLUDING TOWEL AND SOAP DISPENSER AT SINK. PROVIDE UNDERNEATH PIPE WRAPPING AT SINK, PER ADA REQUIREMENTS. SINK COUNTER AND BACKSPLASH OF DURABLE MATERIAL FOR EXTERIOR APPLICATION.



LAUNDRY STATION
1/2" = 1'-0"

FIXTURE LABEL	FIXTURE TYPE	MANUFACTURER	MODEL NUMBER	DESCRIPTION
SS-1	SERVICE SINK	DAYTON	D23317	DYTON STAINLESS STEEL 33"X17"X6" EQUAL DOUBLE BOWL DROP-IN SINK, ADA COMPLIANT; PROVIDE AMERICAN STANDARD EXPOSED YOKE WALL MOUNT UTILITY FAUCET 8354.112
SS-2	MOP SINK	ACORN	TERRAZO WARE	TNC-24-TF2. PROVIDE FAUCET

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CITY ENGINEER

CITY OF LOS ANGELES

GARY LEE MOORE, PE, ENV SP

A Bridge Home

ENGINEERING

CITY OF LOS ANGELES

LAUNDRY STRUCTURE

COUNCIL DISTRICT: 14

DATE: 03/26/21

DRAWN BY: EV

CHECKED BY: MQ

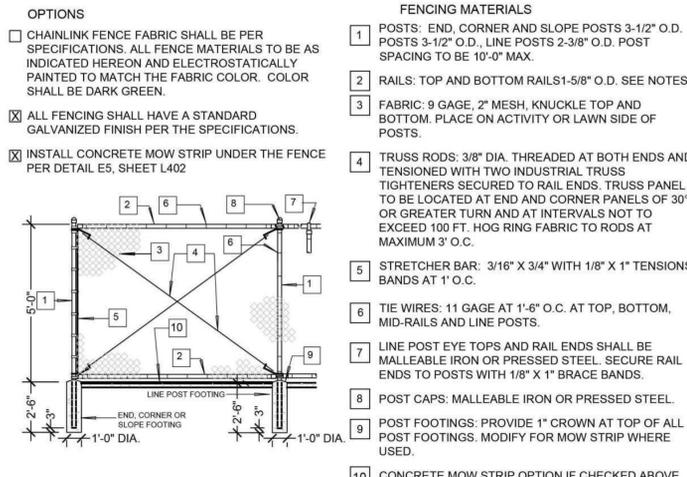
Scale: 1/2" = 1'-0"

A400

CD14 ARROYO SECO
PALLET SHELTERS
ARROYO SECO PARKWAY (ALLEY)
BETWEEN AVE 60 & AVE 64, 90042

WO#E1908842

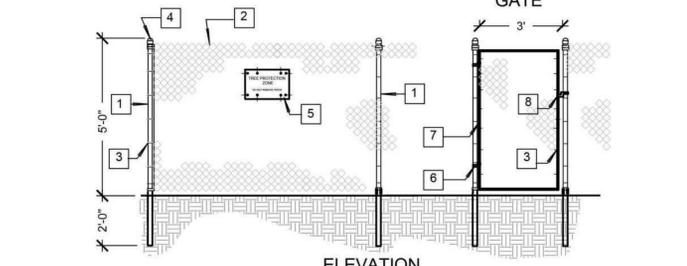
SHEET 22 OF 47



- OPTIONS**
- CHAINLINK FENCE FABRIC SHALL BE PER SPECIFICATIONS. ALL FENCE MATERIALS TO BE AS INDICATED HEREON AND ELECTROSTATICALLY PAINTED TO MATCH THE FABRIC COLOR. COLOR SHALL BE DARK GREEN.
 - ALL FENCING SHALL HAVE A STANDARD GALVANIZED FINISH PER THE SPECIFICATIONS.
 - INSTALL CONCRETE MOW STRIP UNDER THE FENCE PER DETAIL E5, SHEET L402
- FENCING MATERIALS**
- 1 POSTS: END, CORNER AND SLOPE POSTS 3-1/2" O.D. POSTS 3-1/2" O.D., LINE POSTS 2-3/8" O.D. POST SPACING TO BE 10'-0" MAX.
 - 2 RAILS: TOP AND BOTTOM RAILS 1-5/8" O.D. SEE NOTES.
 - 3 FABRIC: 9 GAUGE, 2" MESH, KNUCKLE TOP AND BOTTOM. PLACE ON ACTIVITY OR LAWN SIDE OF POSTS.
 - 4 TRUSS RODS: 3/8" DIA. THREADED AT BOTH ENDS AND TENSIONED WITH TWO INDUSTRIAL TRUSS TIGHTENERS SECURED TO RAIL ENDS. TRUSS PANEL TO BE LOCATED AT END AND CORNER PANELS OF 30" OR GREATER TURN AND AT INTERVALS NOT TO EXCEED 100 FT. HOG RING FABRIC TO RODS AT MAXIMUM 3' O.C.
 - 5 STRETCHER BAR: 3/16" X 3/4" WITH 1/8" X 1" TENSIONS BANDS AT 1'-0" O.C.
 - 6 TIE WIRES: 11 GAUGE AT 1'-6" O.C. AT TOP, BOTTOM, MID-RAILS AND LINE POSTS.
 - 7 LINE POST EYE TOPS AND RAIL ENDS SHALL BE MALLEABLE IRON OR PRESSED STEEL. SECURE RAIL ENDS TO POSTS WITH 1/8" X 1" BRACE BANDS.
 - 8 POST CAPS: MALLEABLE IRON OR PRESSED STEEL.
 - 9 POST FOOTINGS: PROVIDE 1" CROWN AT TOP OF ALL POST FOOTINGS. MODIFY FOR MOW STRIP WHERE USED.
 - 10 CONCRETE MOW STRIP OPTION IF CHECKED ABOVE.

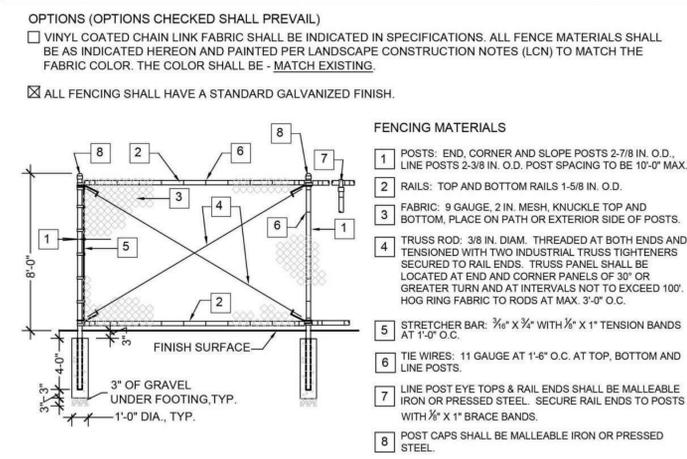
J1	5' HIGH CHAIN LINK INTERIOR FENCE	RP DETAIL 502
N.T.S.		

- FENCING MATERIALS**
- 1 POSTS: O.D. LINE POSTS 2-3/8 IN. O.D. POST SPACING TO BE 10'-0" MAX. POSTS TO BE DRIVEN 2" BELOW RELATIVE GRADE.
 - 2 FABRIC: 9 GAUGE, 2 IN. MESH, KNUCKLE TOP AND BOTTOM, PLACE ON OUTER SIDE OF POST.
 - 3 TIE WIRES: 11 GAUGE AT 12" O.C.
 - 4 POST TOPS MALLEABLE IRON OR PRESSED STEEL.
 - 5 24"x18" SIGN, ATTACH WITH TIE WIRES. SIGN TO BE PROVIDED BY CONTRACTOR. SUBMIT SHOP DRAWING OF THE SIGN BEFORE INSTALLATION.
 - 6 HINGES: INDUSTRIAL BULLDOG HINGE (180 SWING) 2 HINGES PER GATE, ONE TOP AND ONE BOTTOM.
 - 7 GATE FRAME: SIDES, 2-3/8" DIA
 - 8 LOCKABLE CAST ALUMINUM FORK LATCH POST TOPS MALLEABLE IRON OR PRESSED STEEL.



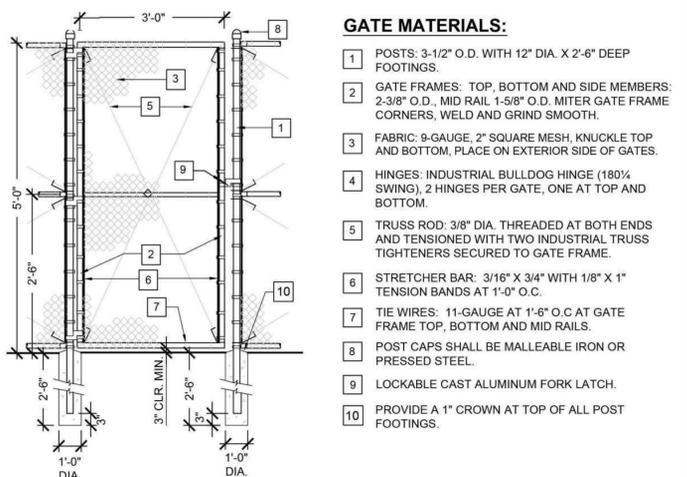
- NOTES:**
1. CHAIN LINK FENCE MATERIALS SHALL CONFORM TO THE CHAIN LINK FENCE AND MISCELLANEOUS METAL CONSTRUCTION SECTION OF THE LANDSCAPE CONSTRUCTION NOTES.
 2. THE BOTTOM OF THE FABRIC SHALL BE POSITIONED ONE INCH ABOVE FINISH GRADE.
 3. PROVIDE FOR ONE 3' WIDE GATE PER ENCLOSURE.
 4. ALL FENCING TO HAVE A STANDARD GALVANIZED FINISH.

E1	5' HIGH TREE PROTECTION FENCE	RP DETAIL 500.1
N.T.S.		



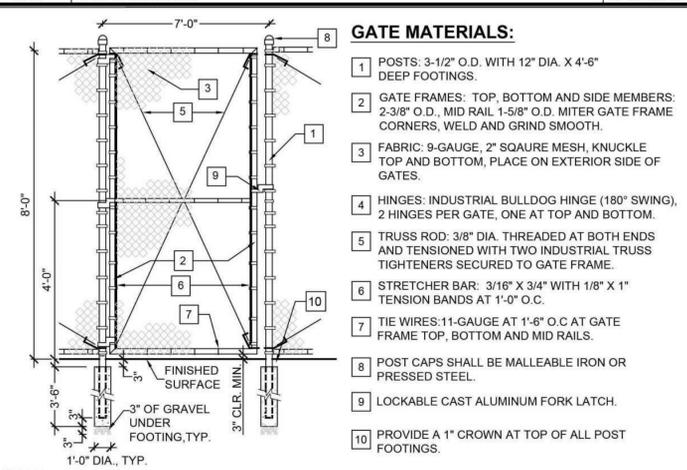
- OPTIONS (OPTIONS CHECKED SHALL PREVAIL)**
- VINYL COATED CHAIN LINK FABRIC SHALL BE INDICATED IN SPECIFICATIONS. ALL FENCE MATERIALS SHALL BE AS INDICATED HEREON AND PAINTED PER LANDSCAPE CONSTRUCTION NOTES (LCN) TO MATCH THE FABRIC COLOR. THE COLOR SHALL BE - MATCH EXISTING.
 - ALL FENCING SHALL HAVE A STANDARD GALVANIZED FINISH.
- FENCING MATERIALS**
- 1 POSTS: END, CORNER AND SLOPE POSTS 2-7/8 IN. O.D., LINE POSTS 2-3/8 IN. O.D. POST SPACING TO BE 10'-0" MAX.
 - 2 RAILS: TOP AND BOTTOM RAILS 1-5/8 IN. O.D.
 - 3 FABRIC: 9 GAUGE, 2 IN. MESH, KNUCKLE TOP AND BOTTOM, PLACE ON PATH OR EXTERIOR SIDE OF POSTS.
 - 4 TRUSS ROD: 3/8 IN. DIAM. THREADED AT BOTH ENDS AND TENSIONED WITH TWO INDUSTRIAL TRUSS TIGHTENERS SECURED TO RAIL ENDS. TRUSS PANEL SHALL BE LOCATED AT END AND CORNER PANELS OF 30" OR GREATER TURN AND AT INTERVALS NOT TO EXCEED 100'. HOG RING FABRIC TO RODS AT MAX. 3'-0" O.C.
 - 5 STRETCHER BAR: 3/16" X 3/4" WITH 1/8" X 1" TENSION BANDS AT 1'-0" O.C.
 - 6 TIE WIRES: 11 GAUGE AT 1'-6" O.C. AT TOP, BOTTOM AND LINE POSTS.
 - 7 LINE POST EYE TOPS & RAIL ENDS SHALL BE MALLEABLE IRON OR PRESSED STEEL. SECURE RAIL ENDS TO POSTS WITH 1/8" X 1" BRACE BANDS.
 - 8 POST CAPS SHALL BE MALLEABLE IRON OR PRESSED STEEL.

A1	8' HIGH CHAIN LINK PERIMETER FENCE	RP DETAIL 504
N.T.S.		



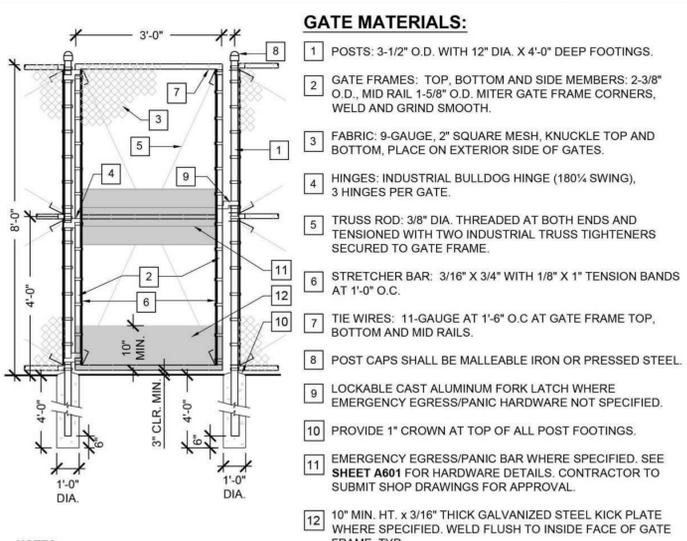
- GATE MATERIALS:**
- 1 POSTS: 3-1/2" O.D. WITH 12" DIA. X 2'-6" DEEP FOOTINGS.
 - 2 GATE FRAMES: TOP, BOTTOM AND SIDE MEMBERS: 2-3/8" O.D., MID RAIL 1-5/8" O.D. MITER GATE FRAME CORNERS, WELD AND GRIND SMOOTH.
 - 3 FABRIC: 9-GAUGE, 2" SQUARE MESH, KNUCKLE TOP AND BOTTOM, PLACE ON EXTERIOR SIDE OF GATES.
 - 4 HINGES: INDUSTRIAL BULLDOG HINGE (180° SWING), 2 HINGES PER GATE, ONE AT TOP AND BOTTOM.
 - 5 TRUSS ROD: 3/8" DIA. THREADED AT BOTH ENDS AND TENSIONED WITH TWO INDUSTRIAL TRUSS TIGHTENERS SECURED TO GATE FRAME.
 - 6 STRETCHER BAR: 3/16" X 3/4" WITH 1/8" X 1" TENSION BANDS AT 1'-0" O.C.
 - 7 TIE WIRES: 11-GAUGE AT 1'-6" O.C. AT GATE FRAME TOP, BOTTOM AND MID RAILS.
 - 8 POST CAPS SHALL BE MALLEABLE IRON OR PRESSED STEEL.
 - 9 LOCKABLE CAST ALUMINUM FORK LATCH.
 - 10 PROVIDE A 1" CROWN AT TOP OF ALL POST FOOTINGS.

J5	5' HIGH X 3' WIDE CHAIN LINK PEDESTRIAN GATE	RP DETAIL 521
N.T.S.	BOE VERSION JAN/20	



- GATE MATERIALS:**
- 1 POSTS: 3-1/2" O.D. WITH 12" DIA. X 4'-6" DEEP FOOTINGS.
 - 2 GATE FRAMES: TOP, BOTTOM AND SIDE MEMBERS: 2-3/8" O.D., MID RAIL 1-5/8" O.D. MITER GATE FRAME CORNERS, WELD AND GRIND SMOOTH.
 - 3 FABRIC: 9-GAUGE, 2" SQUARE MESH, KNUCKLE TOP AND BOTTOM, PLACE ON EXTERIOR SIDE OF GATES.
 - 4 HINGES: INDUSTRIAL BULLDOG HINGE (180° SWING), 2 HINGES PER GATE, ONE AT TOP AND BOTTOM.
 - 5 TRUSS ROD: 3/8" DIA. THREADED AT BOTH ENDS AND TENSIONED WITH TWO INDUSTRIAL TRUSS TIGHTENERS SECURED TO GATE FRAME.
 - 6 STRETCHER BAR: 3/16" X 3/4" WITH 1/8" X 1" TENSION BANDS AT 1'-0" O.C.
 - 7 TIE WIRES: 11-GAUGE AT 1'-6" O.C. AT GATE FRAME TOP, BOTTOM AND MID RAILS.
 - 8 POST CAPS SHALL BE MALLEABLE IRON OR PRESSED STEEL.
 - 9 LOCKABLE CAST ALUMINUM FORK LATCH.
 - 10 PROVIDE A 1" CROWN AT TOP OF ALL POST FOOTINGS.

E5	8' HIGH X 7' WIDE TRASH ENCLOSURE GATE	RP DETAIL 504.1
N.T.S.	BOE VERSION JAN/20	



- GATE MATERIALS:**
- 1 POSTS: 3-1/2" O.D. WITH 12" DIA. X 4'-0" DEEP FOOTINGS.
 - 2 GATE FRAMES: TOP, BOTTOM AND SIDE MEMBERS: 2-3/8" O.D., MID RAIL 1-5/8" O.D. MITER GATE FRAME CORNERS, WELD AND GRIND SMOOTH.
 - 3 FABRIC: 9-GAUGE, 2" SQUARE MESH, KNUCKLE TOP AND BOTTOM, PLACE ON EXTERIOR SIDE OF GATES.
 - 4 HINGES: INDUSTRIAL BULLDOG HINGE (180° SWING), 3 HINGES PER GATE.
 - 5 TRUSS ROD: 3/8" DIA. THREADED AT BOTH ENDS AND TENSIONED WITH TWO INDUSTRIAL TRUSS TIGHTENERS SECURED TO GATE FRAME.
 - 6 STRETCHER BAR: 3/16" X 3/4" WITH 1/8" X 1" TENSION BANDS AT 1'-0" O.C.
 - 7 TIE WIRES: 11-GAUGE AT 1'-6" O.C. AT GATE FRAME TOP, BOTTOM AND MID RAILS.
 - 8 POST CAPS SHALL BE MALLEABLE IRON OR PRESSED STEEL.
 - 9 LOCKABLE CAST ALUMINUM FORK LATCH WHERE EMERGENCY EGRESS/PANIC HARDWARE NOT SPECIFIED.
 - 10 PROVIDE 1" CROWN AT TOP OF ALL POST FOOTINGS.
 - 11 EMERGENCY EGRESS/PANIC BAR WHERE SPECIFIED. SEE SHEET A601 FOR HARDWARE DETAILS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
 - 12 10" MIN. HT. X 3/16" THICK GALVANIZED STEEL KICK PLATE WHERE SPECIFIED. WELD FLUSH TO INSIDE FACE OF GATE FRAME, TYP.

A5	8' HIGH X 3' WIDE CHAIN LINK PEDESTRIAN GATE	RP DETAIL 521
N.T.S.	BOE VERSION JAN/20	

CHAINLINK FENCING

MATERIALS

Chain link fencing materials shall be as specified in the applicable details and Section (206-6).

Pipes for posts, braces and rails shall be Class 1, Schedule 40, ASTM F 1083 or, Class 1A, with a minimum 50,000 psi yield strength. Class 1 pipe shall be galvanized as indicated in this section of the Landscape Construction Notes. Class 1A pipe shall have a minimum hot dipped zinc coating of 0.9 oz./Sq. Ft., 15 micrograms of chromate per square inch and a minimum or 3 mils of acrylic coating on the exterior of the pipe. The interior coating of Class 1A pipe shall be hot dipped galvanized with .9 oz/ Sq. Ft. Zinc. Materials for chain link fence posts, rails and braces shall be sized as follows:

Nominal Size (Inches)	Actual Outside Diameter (Inches)	Class 1 Pipe Wall Thickness (Inches)	Class 1 Weight (Pounds per Linear Foot)	Class 1A Pipe Wall Thickness (Inches)	Class 1A Weight (Pounds per Linear Foot)
1 - 1/4"	1 - 5/8"	0.140	2.27	0.110	1.82
1 - 1/2"	1 - 7/8"	0.145	2.72	0.120	2.28
2"	2 - 3/8"	0.154	3.65	0.130	3.12
2 - 1/2"	2 - 7/8"	0.203	5.79	0.160	4.64
3"	3 - 1/2"	0.216	7.57	0.160	5.71
3 - 1/2"	4"	0.228	9.11	0.160	6.56
4"	4 - 1/2"	0.237	10.79	N/A	N/A
6"	6 - 5/8"	0.280	18.97	N/A	N/A

CHAIN LINK FABRIC
Galvanized steel chain link fabric shall conform to ASTM A 392, Class 2, 1.20 Oz./Sq.Ft. zinc. Fabric shall be 9 gauge and be woven in a 2" mesh unless otherwise indicated on the plan. Top and bottom selvages shall be knuckled.

STEEL SHAPES
All structural steel shapes shall be as specified in the applicable detail.

GALVANIZING
Where called out, metal products shall be hot dipped galvanized in accordance with TABLE 210-3.2(A) of the SSPWC.

MANUFACTURER'S CERTIFICATE OF COMPLIANCE
The manufacturer of the Chain link fabric, fence posts, rails and braces shall provide the Contractor a Certificate of compliance for each shipment sent to the project site. The Certificate shall state that the materials delivered conform the specification for materials as described in these Landscape Construction Notes. The Certificate of Compliance shall be delivered to the Project Manager before any fencing materials are installed at the project site.

REPAIRING OF DAMAGED GALVANIZED SURFACES
Galvanized surfaces which have been damaged in transport or during installation shall be re-coated using the metalizing process or zinc oxide, zinc dust paint per Section 210-3.5 of the Standard Specification.

TUBULAR STEEL SHAPES
Cold formed shapes for tubular steel fencing shall conform to ASTM A 500, Grade B, in the size and wall thickness shown on the plans and details. Unless specified on the plans all post and rails shall be 3/16" thick. All pickets for fencing shall be minimum 11 gauge.

TUBULAR STEEL WELDING
Shall conform to the AWS code for procedures, appearance and quality. All welds shall be ground smooth. All fabricated metal fencing panels shall be shop assembled and welded.

METHODS

CHAIN LINK FENCE
Chain link fence shall be installed and stretched tight between posts. All connection bolts shall not extend more than 1/4 inch past the end of the nut and be free from burrs.

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DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

CITY ENGINEER

GARY LEE MOORE, PE, ENV SP

A Bridge Home

WO#E1908842

SHEET 23 OF 47

FENCING DETAILS

COUNCIL DISTRICT: 14

DATE: 03/26/21

DRAWN BY: EV

CHECKED BY: MQ

Scale:

A500

ENGINEERING

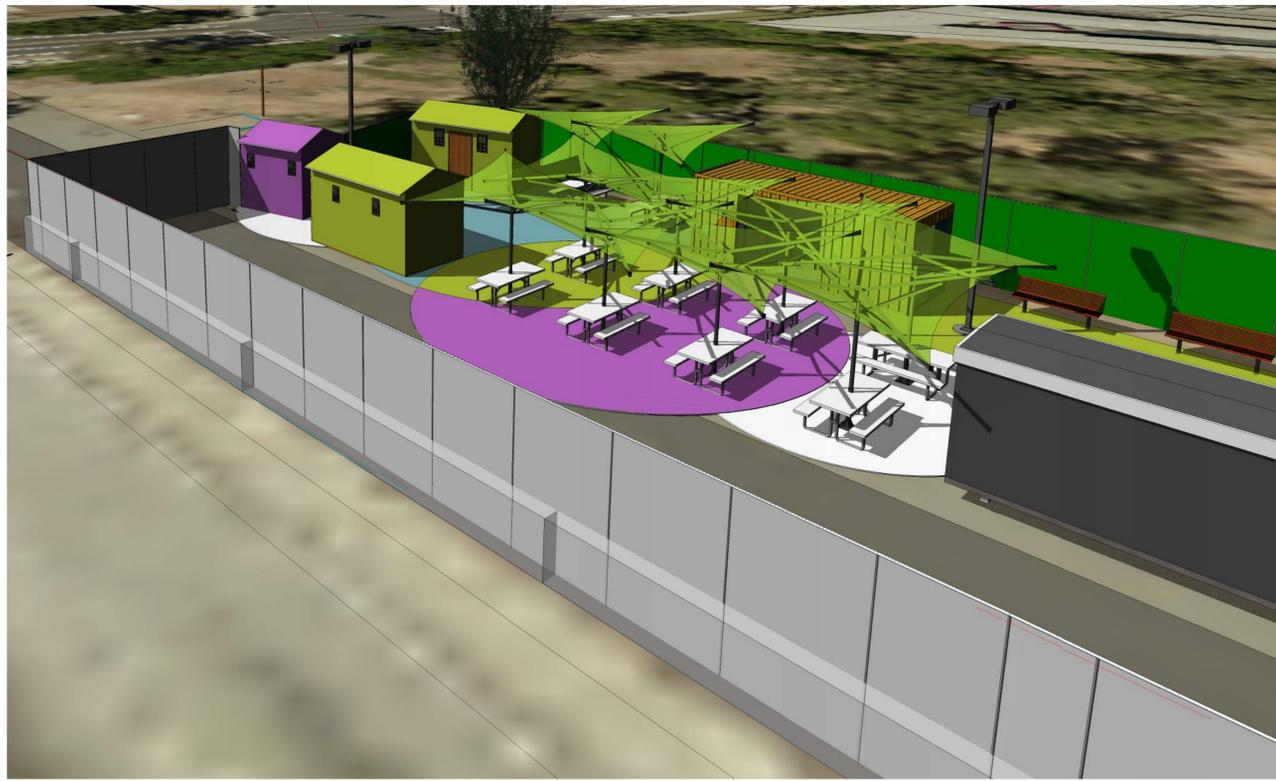
CITY OF LOS ANGELES



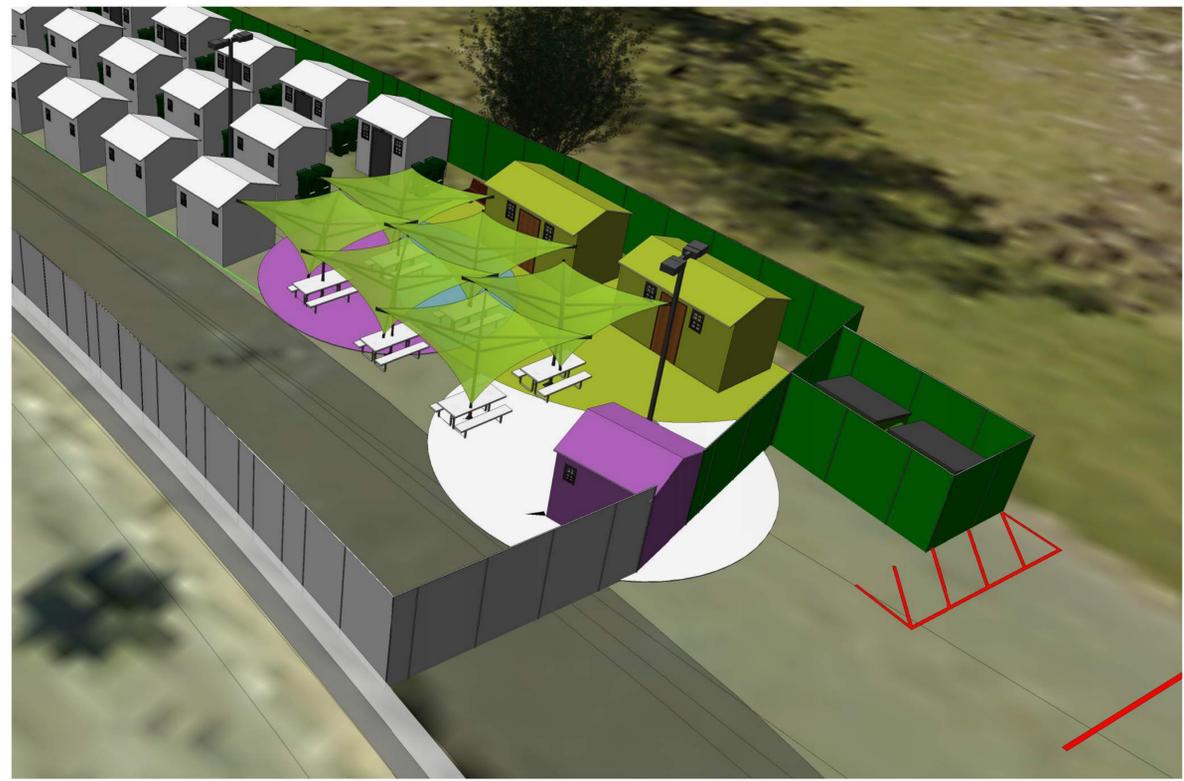
AERIAL VIEW
COUNCIL DISTRICT: 14
DATE: 03/26/21
DRAWN BY: EV
CHECKED BY: MQ
Scale:

**CD14 ARROYO SECO
PALLET SHELTERS**
ARROYO SECO PARKWAY (ALLEY)
BETWEEN AVE 60 & AVE 64, 90042

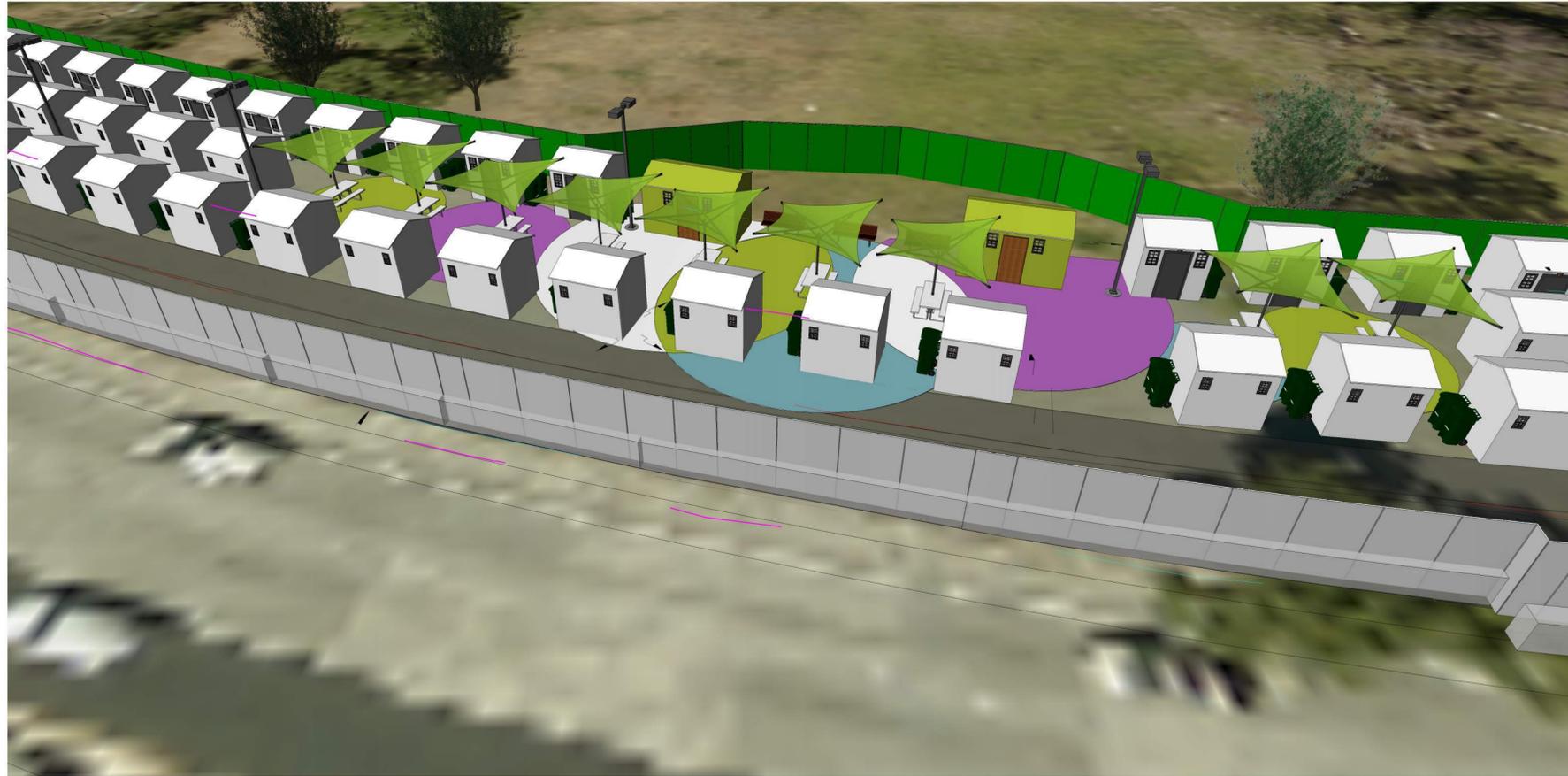
GARY LEE MOORE, PE, ENV SP
A Bridge Home



1 SOUTH ENTRY



3 NORTH ENTRY



2 CENTRAL PLAZA WITH HYGIENE AND LAUNDRY AMENITIES

CITY OF LOS ANGELES
 DEPARTMENT OF PUBLIC WORKS
 BUREAU OF ENGINEERING
 1149 S. BROADWAY, 7th FLOOR
 LOS ANGELES, CALIFORNIA 90015
 CALIFORNIA ENVIRONMENTAL QUALITY ACT
 NOTICE OF EXEMPTION
 (Articles II and III – City CEQA Guidelines)

This form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, California, 90650, and the Office of Planning and Research pursuant to Public Resources Code Sections 21080.27(c) and 21152(b). Pursuant to Public Resources Code Section 21167(d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project.

LEAD CITY AGENCY AND ADDRESS: City of Los Angeles c/o Bureau of Engineering 1149 S. Broadway, MS 939, Los Angeles, CA 90015	COUNCIL DISTRICT 14
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PROJECT TITLE: CD14 Arroyo Seco - Transitional Housing – Hermon-Highland Park in Northeast Los Angeles	LOG REFERENCE C.F. 20-0841
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PROJECT LOCATION: The project location is parcel APN# 5492-021-900. The Project Site is on the easterly side of the parcel, with access located approximately at the intersection of Ave 60., just west of Arroyo Dr. in the Hermon - Highland Park area of the Northeast Community Plan Area in the City of Los Angeles Council District 14 (CD 14), see *Figure 1 – Project Site Location. T.G. 595D2, D3, D4*

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT The proposed project consists of the construction of a new homeless shelter at a City of Los Angeles owned parcel that includes a tiny home village of small, detached, pre-fabricated cabins assembled on site with beds for up to 224 individuals, three hygiene trailers with restrooms, showers, lavatories, drinking fountains, perimeter security fencing, and designated seating areas for food services for people experiencing homelessness. The nature of this project is to serve the local homeless community within the vicinity of the project. The purpose of the project is to provide emergency shelter for individuals experiencing homelessness to help bridge their transition from living on the streets to finding services and, ultimately, living in transitional and/or permanent housing. The project includes approximately 115 tiny homes; 109 with double beds (218 occupants), six with Americans with Disabilities Act (ADA) compliant single beds, and there is one tiny home for storage that has no beds. There are also six pre-fabricated structures for administration, and one structure for laundry facilities. The Project Site is approximately 48,000-square feet (sf) and is currently developed as the Hermon Park in the Arroyo Seco. The project includes beds in crisis and bridge housing for up to 224 people experiencing homelessness. Project beneficiaries include the homeless community, the public and local businesses. A third-party service provider will operate the project for the City and it is anticipated that a lease or similar operating and/or funding agreement may be executed. (Please see the attached narrative for more details). On March XX, 2021, the Los Angeles City Council determined this action was exempt from CEQA and approved the project.

CONTACT PERSON: Maria Martin **TELEPHONE NUMBER:** 213-485-5753

EXEMPT STATUS: (Check One)	<u>CITY CEQA</u>	<u>STATE CEQA</u>	<u>CA PUBLIC</u>
	<u>GUIDELINES</u>	<u>GUIDELINES</u>	<u>RESOURCE CODE</u>
<input checked="" type="checkbox"/> STATUTORY		15269(c)	21080(b)(4) & 21080.27
<input checked="" type="checkbox"/> Governor's Executive Order No. N-32-20 (March 18, 2020) suspending CEQA "for any project using Homeless Emergency Aid Program funds, Homeless Housing, Assistance, and Prevention Program funds, or funds appropriated in Senate Bill 89".			

JUSTIFICATION FOR PROJECT EXEMPTION: This project is statutorily exempt under Public Resources Code Section 21080(b)(4) as a specific action necessary to prevent or mitigate an emergency as also reflected in CEQA Guideline Section 15269(c); Public Resources Code section 21080.27 (AB 1197) applicable to City of Los Angeles emergency homeless shelters; and, because the project uses "Homeless Housing, Assistance and Prevention Program funds," it is exempt under Governor's order N-32-20. (see attached narrative).

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING

SIGNATURE: Maria Martin	TITLE: Environmental Affairs Officer Environmental Management Group	DATE:
FEE: \$75.00 _____	RECEIPT NO.	REC'D BY
		DATE

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1. EXEMPTION NARRATIVE

The proposed project includes the construction of a new homeless shelter site (Project Site) that will provide emergency shelter, three hygiene trailers, storage, and food services to people experiencing homelessness. The Project Location is located on a 6.8-acre parcel. The Project Site is on an approximately 1.1-acre, irregularly shaped parcel that is currently City owned and developed as Hermon Park in the Arroyo Seco. The Project Site is on an easterly 48,000-sf portion of the park, abutting the Arroyo Seco Parkway and Arroyo Seco Flood Channel on the eastern boundary. There is a 20-ft fire lane along the eastern boundary of the site, along the Arroyo Seco Parkway. The site is located within the Highland Park-Garvanza Historic Preservation Overlay Zone. (City of Los Angeles Department of City Planning, 2021)

The Project Site is located in the Hermon-Highland Park area of the Northeast Community Plan Area in the City of Los Angeles Council District 14 (CD 14), Assessor's Parcel Number (APN) 5492-021-900, see *Figure 1 – Project Site Location*. The project includes the construction of a new homeless shelter site on a Recreation and Park's owned parcel that includes tiny homes with beds for up to 224 individuals experiencing homelessness, in furtherance of providing emergency homeless shelter beds in the City of Los Angeles. Tiny homes are small, detached, pre-fabricated cabins made of aluminum and composite materials that will be assembled on site. The project includes approximately 115 tiny homes; 109 with double beds (218 occupants) and 6 with ADA single beds.

Additionally, there will be six pre-fabricated structures for administration, and laundry facilities. The shelter will be operated consistent with the Los Angeles Homeless Services Authority's (LAHSA) program requirements for bridge shelters including, but not limited to *Crisis Housing Program for All Populations Scope of Required Services* (LAHSA, 2020-2021). A third-party service provider will operate the project for the City and it is anticipated that a lease or similar operating and/or funding agreements may be executed with the service provider, County, and/or LAHSA.

The site will also include outdoor lighting, perimeter fencing, hygiene trailers with restrooms, showers, lavatories, drinking fountains, a double gate, a trash bin area, outdoor seating, new power service, new asphalt paving, staff parking, site lighting, a food distribution area, and designated seating areas for food services. No trees will be removed.

The Project Site is within an urban area on a parcel that is currently developed with a Hermon Park in the Arroyo Seco. The project is zoned OS with an Open Space land use designation. This part of the park is located in the western portion of the Hermon Park in the Arroyo Seco group of parks, which is located just west of the Arroyo Seco Parkway, at the intersection of and Ave. 60 and Arroyo Dr. As shown in Figure 1, below, there is a combination of qualified urban uses that are adjacent to the site. The parcel is an infill site that is bounded by parcels that are developed with qualified urban uses. There are multi-family residential uses to the north, south, and west of the parcel. The entire eastern boundary is runs along and is adjacent to the Arroyo Seco Parkway and the Arroyo Seco Flood Channel, both of which are considered public institutional uses. The entire perimeter of the parcel is surrounded by qualified urban uses. Therefore, the parcel meets the definition of infill site.

**Figure 1
Project Site Location Map**



I. PROJECT HISTORY: HOMELESS SHELTER CRISIS AND EMERGENCY

A. Homelessness Imposes a Loss of, or Damage to, Life, Health, Property, and to Essential Public Services in the City

Homelessness presents a danger of loss or damage to the health and property of the people of the City and an undue burden on essential public services. Homeless persons constitute approximately 0.78 percent of the City's population (Los Angeles Homeless Services Authority, 2018).

In 2018, homeless persons constituted 13.5 percent of LAFD's total patient transports to a

hospital, meaning a homeless person is 17 percent more likely to require emergency hospital transportation than the general population (LAFD Battalion Chief and Paramedic Douglas Zabilski, 2019). Studies have shown that individuals identified as homeless utilize health care services more frequently than comparable non-homeless individuals of the same age, gender, and low-income status, particularly high-cost services such as ER visits and psychiatric hospitalizations (Hunter, 2017) (Hwang SW, 2013).

Los Angeles County's Chief Executive Officer reported the County spent \$965 million on health, law enforcement, and social services toward individuals experiencing homelessness in fiscal year 2014–2015 (Wu, 2016). Consistent with that report, a 1998 study in the *New England Journal of Medicine* found that homelessness was associated with substantial excess costs per hospital stay in New York City, with homeless patient staying in the hospital 36 percent longer per admission on average than other patients (Salit, *Hospitalization Costs Associated with Homelessness in New York City*, 1988).

Homelessness also causes significant danger to the health and lives of persons who are homeless. Homeless individuals living in the City are frequent crime victims. In 2018, LAPD reported 2,965 instances where a homeless individual was a victim of a serious crime, including homicide, rape, aggravated assault, theft, and arson (also known as "Part 1 Crimes.") (Commander Dominic H. Choi, 2019). This compares to 1,762 such crimes in 2017, a 68 percent increase (*Id.*). This dramatic increase in Part 1 Crime statistics may be due to more rigorous LAPD data collection methodologies, but is consistent with the increasing incidence of homelessness documented in June of 2019 detailed below (*Id.*).

Overall, in 2018, the LAPD reported 6,671 instances in total where a homeless individual was a Part 1 Crime victim and/or suspect, among the 31,285 estimated homeless individuals throughout the City (*Id.*). This means that in 2018 there was approximately one Part 1 Crime per every 4.68 homeless individuals in the City. By comparison, for the same year LAPD reported 129,549 total Part 1 Crimes Citywide among an estimated population of 4,054,400 City residents, or approximately one Part 1 crime per every 31.29 City residents. Accordingly, the rate of Part 1 crimes among homeless individuals in 2018 was approximately seven times higher than the rate among the City population as a whole (*Id.*).

On October 4, 2018 and again on February 6, 2019, the Los Angeles County Department of Public Health identified an outbreak of endemic flea-borne typhus in downtown Los Angeles among persons experiencing homelessness. On September 19, 2017, the Los Angeles County Department of Public Health declared a Hepatitis A virus outbreak among persons who are homeless and/or use illicit drugs in the County. Likewise, a January 2018 report from the Los Angeles County Department of Mental Health reported that data from the Los Angeles County Medical Examiner-Corner's showed that a significant number of deaths in the homeless population were caused by treatable conditions such as arteriosclerotic cardiovascular disease, pneumonia, diabetes, cancer, cirrhosis, severe bacterial infections and other conditions (Choi, 2019). As noted more recently by the Board of Supervisors for the County of Los Angeles on October 29, 2019:

Mortality rates for people experiencing homelessness are much higher than those for the general population, have risen in the County over the past five years, and are expected to increase again for 2019. A recent analysis by the County's Department of Public Health on mortality rates and causes of death among people experiencing homelessness shed critical light on this issue and provided sobering data on recent trends. The overall mortality rate, which accounts for increases in the total homeless population over the 6-year period from 2013 to 2018, increased each year from 1,382 per 100,000 to 1,875 deaths per 100,000, with the total number of deaths among people experiencing homelessness increasing each year from 536 in 2013 to 1,047 in 2018. The leading causes of death included coronary

heart disease (22%) and unintentional drug and alcohol overdose (21%), indicating that there are opportunities for interventions to prevent premature deaths (Supervisor Ridley-Thomas, Supervisor Solis, 2019) (Department of Public Health, 2019).

These significant adverse health impacts suffered by the homeless in the City and County of Los Angeles are consistent with the impacts identified by a well-established body of expert social science studies that document the significant adverse health and welfare impacts experienced by homeless persons in the United States and in other countries, which the homeless in the City and County experience as well. Some of that research has documented the following impacts upon homeless persons:

Mortality Rates. A study of the mortality rates of sheltered homeless people in New York City between 1987 and 1994 documented that homeless men died at a rate more than twice that of other residents of New York, and that homeless women died at a rate more than 3.7 times greater than other New York residents (Barrow, Susan M., PhD, Daniel B. Herman, DSW, Pilar Cordova, BA, and Elmer L. Struening, PhD, 1999). A study conducted between 1985 and 1988 in Philadelphia found that the mortality rate among homeless persons in Philadelphia was nearly four times greater than for the general population (Hibbs, Jonathan R., MD, et al., 1994). A review of five years of data between 2000 and 2005 in Glasgow, Scotland found that homelessness is, itself, is an independent risk factor for death, distinct from other specific causes (Morrison, 2009).

Access to Healthcare. A 2003 nationwide survey of homeless persons documented that homeless adults reported substantial unmet needs for multiple types of health care (Baggett, Travis P., MD, MPH, James J. O'Connell, MD, Daniel E. Singer, MD, and Nancy A. Rigotti, MD, , 2010). The report found 73 percent of the respondents reported at least one unmet health need, including an inability to obtain needed medical or surgical care (32%), prescription medications (36%), mental health care (21%), eyeglasses (41%), and dental care (41%) (*Id.*).

AIDs Impacts. A study of San Francisco residents diagnosed with AIDS from 1996 through 2006 and reported to the San Francisco Department of Public Health demonstrated that homeless persons with HIV/AIDS have greater morbidity and mortality, more hospitalizations, less use of antiretroviral therapy, and worse medication adherence than HIV infected persons who are stably housed (Schwarcz, Sandra K, Ling C Hsu., Eric Vittinghoff, Annie Vu, Joshua D Bamberger and Mitchell H Katz, 2009).

Cancer Impacts. A study of 28,000 current and formerly homeless individuals in Boston documented that homeless men saw a significantly higher cancer incident rate than expected compared to the general Massachusetts general population, and that homeless women and men experienced significantly higher cancer mortality rates than the Massachusetts general population (Baggett, Travis P et al., 2015).

B. Unexpected and Unabated Dramatic Surge in Homelessness

A 2017 Rand Corporation study reported the County of Los Angeles as having the highest rate in the United States of unsheltered individuals who experience homelessness (Hunter, Sarah B., Melody Harvey, Brian Briscoe, and Matthew Cefalu, 2017). The impacts of homelessness upon the homeless and upon the community, in terms of the danger to or loss of life, property, health and burden on public services is exacerbated in the City due the very size of the City's homeless population. The homeless shelter crisis and the rise in homelessness are the type of emergency situations that led the State to adopt AB 1197, an urgency statute addressing homelessness that was deemed necessary for the immediate preservation of the public peace, health, or safety and for the critical necessity to address the shelter and homeless crisis within

the City of Los Angeles.

The City of Los Angeles (the City) City Council declared a homeless shelter crisis pursuant to Government Code Section 8698, et seq. on April 17, 2018 (The Honorable M. Bonin & M. O'Farrell , 2019), which is currently in effect (The Honorable M. Bonin & M. Harris-Dawson, 2019). Following significant investment of resources by both the County and City, the 2018 Homeless Count showed progress in reducing homelessness, documenting a 5.5 percent overall decrease in the number of persons experiencing homelessness in LA County (LAHSA, 2020).

Table 1 - 2018 Homeless Count Data Summary presents the data revealed by the 2018 Homeless Count concerning the City of Los Angeles, as documented in the 2018 Data Summary in Table 1 (LAHSA, 2020).

Table 1 2018 Homeless Count Data Summary		
	Number of Individuals	Change from 2017
Sheltered Homeless	8,398	6% Decrease
Unsheltered Homeless	22,887	5.3% Decrease
Total Homeless Persons	31,285	5.5% Decrease

Despite these efforts and the initial progress shown in 2018, the revised 2019 Homeless Count, released in July 22, 2020, unexpectedly documented a dramatic increase in the number of individuals experiencing both sheltered and unsheltered homelessness in (LAHSA, 2020) *Table 2 - 2019 Homeless Count Data Summary* presents the data revealed by the 2019 Homeless Count concerning the City of Los Angeles, as documented in the 2019 Data Summary as shown in Table 2 (LAHSA, 2020):

Table 2 2019 Homeless Count Data Summary (Revised 07/20/2020)		
	Number of Individuals	Change from 2018
Sheltered Homeless	8,944	6.5% Increase
Unsheltered Homeless	26,606	16.2% Increase
Total Homeless Persons	35,550	13.7% Increase

LAHSA recently published its 2020 Homeless Count, released in July 20, 2020, which shows that the homelessness emergency in the City of Los Angeles continues unabated. The documented number of individuals experiencing both sheltered and unsheltered homelessness dramatically increased yet again, as shown in *Table 3 - 2020 Homeless Count Data Summary*. (LAHSA, 2020)

Table 3
2020 Homeless Count Data Summary

	Number of Individuals	Change from 2019
Sheltered Homeless	12,438	39% Increase
Unsheltered Homeless	28,852	8.4% Increase
Total Homeless Persons	41,290	16.1 % increase

C. Emergency Related to COVID-19 Pandemic Impacting Homeless Community

In addition to the crisis of growing homelessness, the COVID-19 pandemic is impacting homeless persons. On March 4, 2020, the Governor proclaimed a State of Emergency for the State of California (Governor Gavin Newsom, 2020), and the Mayor of the City of Los Angeles declared a local emergency related to the threat of the COVID-19 pandemic affecting the local population (Mayor Eric Garcetti, 2020). The City is facing an unprecedented emergency at the current time due to the sudden occurrence of the COVID-19 pandemic, and this emergency is particularly concerning for the imminent threat it poses to the City’s homeless population.

On March 11, 2020, the State Department of Health issued guidance for protecting homeless Californians from COVID-19, which noted the following:

“We know that individuals experiencing homelessness are at greater risk of having an untreated and often serious health condition. This vulnerable population also has a higher risk of developing severe illness due to COVID-19,” said Dr. Mark Ghaly, Secretary of the California Health and Human Services Agency. “It is important that we act now to protect this population and the compassionate people who serve them.” (Corey Egel, 2020)

The homeless often live unsheltered, unprotected from the elements and in close contact and proximity to other individuals in the homeless community. As noted above, the homeless population is substantially more prone to underlying health conditions. The State Department of Public Health additionally states that populations “with compromised immune systems, and people with certain underlying health conditions like heart disease, lung disease and diabetes, for example, seem to be at greater risk of serious illness.” (California Dept. of Public Health, 2020) Thus, exposure to COVID-19 in the homeless population is an imminent concern for the damage it will cause on these susceptible individuals.

On March 12, 2020, the Governor’s Executive Order No. N-25-20 noted the “need to secure numerous facilities to accommodate quarantine, isolation, or medical treatment of individuals testing positive for or exposed to COVID-19.” (Governor Gavin Newsom, 2020) On March 18, 2020, the Governor issued Executive Order No. N-32-20 (Governor Gavin Newsom, 2020), which further noted imminent impacts to the homeless, as follows:

[T]he emergency of COVID-19 necessitates a more focused approach, including emergency protective measures to bring unsheltered Californians safely indoors, expand shelter capacity, maintain health and sanitation standards and institute medically indicated interventions, and add new isolation and quarantine capacity to California’s shelter and housing inventory to slow the spread of the pandemic....

The Governor has stated that “[p]eople experiencing homelessness are among the most vulnerable to the spread of COVID-19,” and “California is deploying massive resources to get these vulnerable residents safely into shelter, removing regulatory barriers and securing trailers and hotels to provide immediate housing options for those most at risk. Helping these residents is critical to protecting public health, flattening the curve and slowing the spread of COVID-19.” (California Governor, Press Release (Governor Gavin Newsom, 2020))

On March 19, 2020, the Governor issued a stay-at-home order directing residents to stay home or at their place of residence (Governor Gavin Newsom, 2020). It noted “in a short period of time, COVID-19 has rapidly spread throughout California, necessitating updated and more stringent guidance from federal, state, and local public health officials.” (Governor Gavin Newsom, 2020). Similar local Safer-at-Home orders followed (County of Los Angeles Public Health Department, 2020) (Mayor Eric Garcetti, 2020). The City’s Safer at Home order particularly noted the following:

City of Los Angeles officials and contracted partners responsible for homelessness outreach shall make every reasonable effort to persuade such residents to accept, if offered, temporary housing or shelter, as the Health Officer of the County of Los Angeles recommends that sheltering individuals will assist in reducing the spread of the virus and will protect the individual from potential exposure by allowing the individual access to sanitation tools.

(Mayor Eric Garcetti, 2020)

In the United States District Court Central District of California case of *LA Alliance for Human Rights Et Al. vs. the City of Los Angeles, Et al.* Case No. CV 20-02291 DOC (The Honorable Judge David O. Carter, 2020), concerning homelessness, the Court entered a May 2020 injunction that had ordered the City of Los Angeles in partnership with the County of Los Angeles, to protect a particular subset of persons experiencing homelessness, finding they are exposed to severely heightened public health risks as a result of where they live. (The Honorable Judge David O. Carter, 2020) Although the Court vacated that order on June 18, 2020, in favor of a homeless shelter agreement between the City and County, the Court retained its right to re-impose the May 2020 injunction. The Court’s May 2020 findings concerning the emergency situation faced by homeless persons, therefore, is relevant to understanding the emergency situation.

The Injunction found that the combined risks of health impacts from living near freeways and the on-going Covid-19 pandemic constitute an emergency. The Court found that it is unreasonably dangerous for humans to live in areas which have deleterious health impacts and can shorten a homeless person’s life expectancy by decades. These locations near freeways, for example, could be contaminated with lead or other carcinogenic substances and also increase the danger that a homeless person will be struck by a vehicle or injured in the event of an earthquake or crash. Camps in these locations can also burden the general public—for example, by posing potential hazards to passing motorists, or by making sidewalks and other rights-of-way inaccessible to individuals with disabilities.

The Court further found that providing housing for persons experiencing homelessness will help stop the spread of COVID-19 persons experiencing homelessness and will also help reduce the likelihood that the disease will spread throughout the greater Los Angeles community

Taken together, the unexpected and dramatic increase in homelessness in the City and County of Los Angeles identified first in 2019 continues unabated in 2020, which is now exacerbated by the COVID-19 pandemic posing a critical emergency situation in the City of Los Angeles. This situation presents documented dangers to health, life, property and a burden on public resources which presents an emergency as defined by CEQA as explained below. Furthermore, the State has created additional CEQA exemptions applicable in the City of Los Angeles concerning homelessness and homeless shelters.

II. THE PROJECT IS EXEMPT FROM FURTHER CEQA REVIEW

A. The Project is Exempt Pursuant to the Emergency CEQA Statutory Exemption (PRC Section 21080(b)(4))

Public Resources Code section 21080(b)(4) provides that CEQA does not apply, to “specific actions necessary to prevent or mitigate an emergency.” Public Resources Code section 21060.3 defines Emergency as, “a sudden, unexpected occurrence, involving a clear and imminent danger, demanding immediate action to prevent or mitigate loss of, or damage to, life, health, property, or essential public services.” Section 21060.3 further provides that Emergency, “includes such occurrences as fire, flood, earthquake, or other soil or geologic movements, as well as such occurrences as riot, accident, or sabotage.”

Finally, 14 California Code of Regulations (Governor's Office of Planning and Research, 2018) Section 15269, “Emergency Projects,” provides examples of emergency projects exempt from the requirements of CEQA, including the following:

(c) Specific actions necessary to prevent or mitigate an emergency. This does not include long-term projects undertaken for the purpose of preventing or mitigating a situation that has a low probability of occurrence in the short-term, but this exclusion does not apply

(i) if the anticipated period of time to conduct an environmental review of such a long-term project would create a risk to public health, safety or welfare, or

(ii) if activities (such as fire or catastrophic risk mitigation or modifications to improve facility integrity) are proposed for existing facilities in response to an emergency at a similar existing facility.

The project is a specific action necessary to prevent or mitigate an emergency – the conditions arising from a sudden and unexpected dramatic rise in the City’s already dangerously large homeless population, now adversely impacted by the COVID-19 pandemic for all of the reasons set forth above in Part II (Project History). The Project, therefore is exempt from CEQA environmental review pursuant to Section 21080(b)(4).

B. The Project is Exempt under the Governor’s Executive Order No. N-32-20, Suspending CEQA

On March 18, 2020, Governor Newsom signed and issued Executive Order No. N-32-20 (Governor Gavin Newsom, 2020) suspending CEQA and the CEQA Guidelines’ requirements “for any project using Homeless Emergency Aid Program funds, Homeless Housing, Assistance, and Prevention Program funds, or funds appropriated in Senate Bill 89, signed on March 17, 2020.” The Governor noted that “strict compliance with the various statutes and regulations specified in this order would prevent, hinder, or delay appropriate actions to prevent and mitigate the effects of the COVID-19 pandemic.” Because this project qualifies for and will use Homeless Housing, Assistance, and Prevention Program funds for at least a portion of the work at the site,” it is exempt from CEQA under the Governor’s suspension order.

C. The Project is Exempt Pursuant to AB 1197 Codified at PRC Section 21080.27

Assembly Bill 1197 (Santiago, 2019) was signed into law on September 26, 2019, which adopted Section 21080.27 of the California Public Resources Code (PRC) and created a statutory exemption for compliance with CEQA for emergency shelter projects located within the City of Los Angeles. The intent of AB 1197 is to help the City of Los Angeles address its homeless crisis and is an urgency statute that is deemed necessary for the immediate preservation of the public peace, health, or safety and for the critical necessity to address the shelter and homeless crisis. AB 1197 took immediate effect on September 26, 2019 in order to address the unique circumstances faced by the City of Los Angeles and to expedite the development of emergency homeless shelters. As noted in the following sections, this shelter project complies with the requirements in AB 1197, and thus the project is exempt from CEQA pursuant to AB 1197 (PRC § 21080.27).

1. City of Los Angeles Declaration of a Shelter Crisis

Public Resources Code, section 21080.27(a)(2) requires that emergency shelters be approved during a shelter crisis under Government Code, section 8698.2. The City of Los Angeles City Council declared a homeless shelter crisis pursuant to Government Code Section 8698, et seq. on April 17, 2018 (The Honorable M. Bonin & M. O'Farrell , 2019), which is currently in effect (The Honorable M. Bonin & M. Harris-Dawson, 2019)

2. The Project Meets the Definition of a Low Barrier Navigational Center in Government Code Section 65660

Under AB1197, emergency shelters must meet the definition of “Low Barrier Navigational Center” in Government Code Section 65660, which defines Low Barrier Navigation Center as a “Housing First, low-barrier, service-enriched shelter focused on moving people into permanent housing that provides temporary living facilities, while case managers connect individuals experiencing homelessness to income, public benefits, health services, shelter and housing. The City builds and operates emergency shelters, such as this Project, to be operated as low barrier navigation centers consistent with Government Code Section 65660.

Service-Enriched Shelter with Case Managers Connecting to Services. The requirements are met by this project for a “service-enriched shelter focused on moving people into permanent housing that provides temporary living facilities, while case managers connect families experiencing homelessness to income, public benefits, health services, shelter and housing.” This project provides temporary housing, with case managers staffing the facility that provide connections to homeless family services and assistance for the occupants. This is one of the fundamental purposes of this shelter project. For example, the project’s programs include Trauma Informed Care policies and procedures that involve understanding, recognizing, and responding to the effects of all types of trauma. Trauma Informed Care also emphasizes physical, psychological and emotional safety for both families and providers, and helps families rebuild a sense of control and empowerment. Trauma Informed services take into account an understanding of trauma in all aspects of service delivery and place priority on the trauma survivor’s safety, choice, and control. Trauma Informed Care services create a culture of nonviolence, learning, and collaboration.

The shelter will be operated by service providers coordinated with the Los Angeles Homeless Services Authority (LAHSA). The intention of this emergency shelter project is to provide persons experiencing homelessness with some stability, so that they can more easily maintain contact with housing navigation and/or case management services to facilitate safe and supportive housing placement.

Per LAHSA's Crisis and Bridge Housing Scope of Required Services, which will be followed for operating the shelter in this project, service providers that oversee an emergency shelter must provide case management services and develop a Housing Stability Plan with each person. The shelter will program implement a case management and service plan known as Housing-Focused Case Management and Support Services (HFCMSS). HFCMSS includes but is not limited to: support with completing housing applications, accompanying the individual to housing appointments and/or leasing appointments, and other support associated with the housing placement process. The primary objective of HFCMSS is to extend support to individuals through an individualized case management relationship that will ultimately translate to increased housing stability. The HFCMSS offers services to connect individuals to permanent housing. Case Managers present at the shelter make rapid connections to a broad continuum of resources and permanent housing, emphasizing a short-term stay.

HFCMSS connects families to a Housing Navigator who assists individuals to gain access to permanent housing through referrals to housing programs (such as RRH, Permanent Supportive Housing, affordable housing, etc.). A case manager is assigned to an individual when the person enters the program and then helps the participant establish a connection to a Housing Navigator. A Housing Navigator assists individuals with Housing Navigation services. Housing Navigation services are available to individuals to support their housing placement goals and must be focused on assisting the participant in identifying and accessing permanent housing within the general ninety (90) days. Housing Navigation services may be provided onsite or offsite, and may also require participants' to be accompanied to off-site appointments.

Case management must be conducted on a regular and routine basis and must be routinely documented. The content and outcome of case management meetings with individuals are entered into a housing management information system with case notes that are tracked in the system. Housing-focused case management sessions are dedicated to assessing and reassessing needs, educating individuals on community resource opportunities, developing Housing Stability Plans, scheduling appointments, and providing necessary follow up to ensure housing stability plans are progressing on schedule and needs are adequately being addressed.

As noted in LAHSA's Program Standards, supportive services for the shelters focus on the income, resources, skills and tools needed to pay rent, comply with a lease, take reasonable care of a housing unit, and avoid serious conflict with other tenants, the landlord, and/or the police. The Program Standards also require service providers to utilize and maintain referral networks with specific lists of health services and public benefit services for connecting occupants to those benefits. Thus, the project is a service-enriched shelter focused on moving individuals into permanent housing that provides temporary living facilities, while case managers connect individuals experiencing homelessness to income, public benefits, health services, shelter and housing.

Housing First. The Project is a "Housing First" shelter pursuant to Government Code Section 65660. Also, in being such a Housing First shelter, the project complies with Chapter 6.5 of Division 8 of the Welfare and Institutions Code (commonly referred to as the Housing First Law) as required by Government Code Section 65662 (discussed further below). "Housing First" means the evidence-based model that uses housing as a tool, rather than a reward, for recovery from homelessness, and that centers on providing or connecting people experiencing homelessness to permanent housing as quickly as possible. Housing First providers offer services as needed and requested on a voluntary basis and that do not make housing contingent on participation in services.

Housing First also includes time-limited rental or services assistance, so long as the housing and

service provider assists the recipient in accessing permanent housing and in securing longer-term rental assistance, income assistance, or employment. In the event of an eviction, programs shall make every effort, which shall be documented, to link tenants to other stable, safe, decent housing options. Exit to homelessness should be extremely rare, and only after a tenant refuses assistance with housing search, location, and move-in assistance. If resources are needed to successfully divert an individual from entry into the homelessness system, a referral must immediately be made to a CES Diversion/Prevention program. In order to identify other permanent housing options, service providers continue to have such problem solving conversations with the individual while residing in Crisis and Bridge Housing. More broadly, the project includes a housing and services plan and housing-focused case management, both with an orientation towards supporting individuals to exit to safe and stable housing. This project meets the above-noted Housing First requirements.

The emergency shelters are operated by service providers coordinated through LAHSA. All service providers must comply with LAHSA's Scope of Required Services, Program Standards, and Facility Standards. Per LAHSA's Program Standards, all eligible participants are to be served with a Housing First approach. LAHSA's CES for Families' Principles and Practices that were approved by the CES Policy Council on August 23, 2017 shall be used to guide the development of systems-level policy and to ensure transparent and accountable decision-making with privately owned Service Providers who enter into a partnership with LAHSA. The basic underlying principle of LAHSA's System Components is that access to housing is the primary need for its program participants. Services are voluntary and not required to enter into a shelter. Individuals will not be rejected or exited from participation in the emergency shelter due to any unnecessary barriers.

The City's shelters are intended to be a Housing First program focused on quickly moving individuals experiencing homelessness into permanent housing and then providing the additional supports and services each person needs and wants to stabilize in that housing. The basic underlying Housing First principle is that individuals are better able to move forward with their lives once the crisis of homelessness is over and they have control of their housing. The City's emergency shelter will, provide a safe, low barrier, housing-focused, and homeless services support in a twenty-four (24) hour residence to help individuals who experience homelessness that meet the above-noted requirements for Housing First. One of the core components of the Housing First model is that longer-term housing accepts referrals directly from shelters. The City's shelters, including this project, are primarily focused on connecting, transitioning, and referring homeless individuals into such permanent housing as quickly as possible in the Housing First model, and accepting occupants through the crisis response system. The intention of this emergency shelter project is to provide participants with some stability, so that they can more easily maintain contact with housing navigation and case management services and facilitate safe and supportive housing placement. Services in the City's shelters, including this project, are never mandatory and cannot be a condition of obtaining the housing intervention. This project will provide temporary housing, case managers and Housing Navigators staffed at the facility or offsite who provide connections to homeless services for the occupants. Based on the above-noted information, the project's emergency shelter meets the Housing First requirements relative to AB 1197.

Low Barrier. "Low Barrier" means the shelters use best practices to reduce barriers to entry, including but not limited to, the presence of partners (if it is not a population-specific site, such as for survivors of domestic violence or sexual assault, women, or youth); pets; storage for possessions; and privacy (such as partitions around beds in a dormitory setting or in larger rooms containing more than two beds, or private rooms). The City's shelters, including this project, meet these requirements.

The project provides approximately 115 pallets which allow for presence of partners. This project is pet friendly. Participants are allowed to bring their pets to the shelter and live with them inside their room. There is no pet play area onsite. The project has storage within each room for personal possessions. The project is designed to provide privacy to participants by providing each family or individual with their own room. There are private living quarters with both private or communal bathrooms. Therefore, the project is managed and designed to allow the privacy of participants and is a pet friendly facility for participants who choose to be accompanied by their pets.

The project uses low barrier best practices that reduce barriers to entry. They include the allowance for presence of partners, pet friendly facilities, storage areas for possessions, and management and design for individuals' privacy. All of the City's emergency shelters, including this project, meet these requirements. Therefore, none of the noted conditions would preclude access to the project, and the project is considered crisis and bridge housing that is "low barrier" within the meaning of Government Code Section 65660 and AB 1197.

In sum, based on the above-noted information, which is additionally explained and provided with additional details in the documents from LAHSA cited in the Reference section to this document, the project meets the definition of Low Barrier Navigation Center set forth in Government Code Section 65660.

3. The Project Complies with Government Code Section 65662

Under AB1197, emergency shelters must meet the four requirements identified in Government Code Section 65662(a) through (d), which are each discussed in turn in this section.

Connecting to Permanent Housing through a Services Plan. Government Code Section 65662(a) requires that Low Barrier Navigation Centers offer services to connect families and individuals to permanent housing through a services plan that identifies services staffing. This project meets that requirement. As noted above, the project includes housing-focused case management sessions that involve developing Housing Stability Plans/Housing and Services Plans, scheduling appointments, and providing necessary follow up to ensure housing stability plans are progressing on schedule and needs are adequately being addressed. This is required in LAHSA's Scope of Required Services.

The Housing Stability Plan is the family or individual's service plan that summarizes the participant's housing goals, services needed, what will be provided, actions that need to be taken (by staff and the participant), and referrals that need to be made. Case managers develop the services plan in coordination with the family or individual right after intake and assessment, track the plan in a homeless management information system, and revise the plan as the family or person's situation changes and steps are completed or revised accordingly.

Families and individuals are assisted with a range of activities that address the stated goals of the family or individual in the Housing Stability Plan, including but not limited to:

- Accessing personal identification (For quick referral to permanent housing)
- Accessing certification of the current income (For quick referral to permanent housing)
- Mainstream Benefits
- Substance Abuse services
- Mental Health Services
- Health Services
- Vocational Services

- Employment Services
- Educational Support
- Legal Services
- Life Skills Development
- Independent Living Program for Youth
- Transitional Housing Program for Youth
- CES and CoC Rapid Re-Housing Program
- Housing Navigation Assistance
- CoC Permanent Supportive Housing
- LA County Department of Health Services, Housing for Health or Housing and Jobs Collaborative
- LA County Department of Health Services, Countywide Benefits Entitlement Services Team
- LA County Department of Mental Health, Countywide Housing Assistance Program
- Veterans Administration Housing Programs
- Housing Opportunities for Persons with Aids (HOPWA) Housing
- Crisis Housing for Unaccompanied Youth
- Youth Family Reconnection Program

Progress and problems implementing the plan are reviewed and updated frequently.

Coordinated Entry System. Government Code Section 65662(b) requires Low Barrier Navigation Centers to be linked to a coordinated entry system allowing staff and co-locating staff to conduct assessments and provide services to connect families and individuals to permanent housing. This is required by LAHSA’s Scope of Required Services and Program Standards. Thus, all City of Los Angeles homeless shelters, including this project, are linked to the Los Angeles County Coordinated Entry System, a centralized or coordinated assessment system designed to coordinate program participant intake, assessment, and referrals. The residents are prioritized through the coordinated entry system in the Los Angeles County Coordinated Entry System for safe and supportive housing resources. The City’s collaborates with Los Angeles County Case Entry System and provides case management services to program participants through a Housing Stability Plan. Case managers must develop a Housing Stability Plan in coordination with the participant right after intake and assessment. The Housing Stability Plan must be tracked in a Homeless Management Information System (HMIS) along with the date of completion.

The shelter will collaborate with Los Angeles County Case Entry system Housing Navigators and case managers from other outside agencies to provide case management services to program participants. Los Angeles County Coordinated Entry System case managers work with participants and assist by facilitating services appointments; and then eventually help them find permanent housing.

Compliance with Welfare and Institutions Code. Government Code Section 65662(c) requires Low Barrier Navigation Centers comply with Chapter 6.5 of Division 8 of the Welfare and Institutions Code, which specifies the Housing First requirements. As noted above, the City’s emergency shelters, including this project, are Housing First shelters, and thus they comply with this requirement.

Homeless Management Information System. Government Code Section 65662(d) requires Low Barrier Navigation Centers to have a system for entering stays, demographics, income, and exit destination through a local Homeless Management Information System designed to coordinate program participant intake, assessment, and referrals. These are required by

LAHSA's Scope of Required Services and Program Standards. The City's emergency shelters use such a system in the Los Angeles Continuum of Care Homeless Management Information System (HMIS). In 2001, Congress directed the U.S. Department of Housing and Urban Development (HUD) to ensure the collection of more reliable data regarding the use of homeless programs. HUD required all Continuum of Care applicants to demonstrate progress in implementing a Homeless Management System (HMIS). LAHSA led a regional planning process, encompassing three Continuums of Care - Los Angeles, Glendale, and Pasadena. This process resulted in the selection of a system that would not only satisfy the HUD mandate, but would also provide the Los Angeles Continuum with a means to measure the effectiveness of programs serving homeless families. Presently, the Los Angeles Continuum of Care (LACoC) is part of a collaborative called the Los Angeles HMIS Collaborative. The LA HMIS Collaborative consists of three Continuums of Care (CoC): Los Angeles, Glendale, and Pasadena.

HMIS is a web-based application that is designed to collect information on the characteristics and service needs of homeless persons. The system allows agency users and the Los Angeles Homeless Services Authority (LAHSA) to use collected information for informed programmatic decision-making. Participating agencies collect and input standardized client-level and demographic data into the system, including client/household demographic details; relationships within a family and household; client/household income; client/household documents; case management and services; housing placements; and progress for housing retention. The HMIS includes a focus on Outcomes Management that sets and measures milestones and target achievements of clients and program performance.

Housing Stability Plans are tracked in a Homeless Management Information System (HMIS) along with the date of completion. Case managers complete a Monthly Update with the family to assess progress towards achieving the goals defined in the Housing Stability Plan. All services must be tracked and information is provided to families in HMIS with the goal of the individuals achieving housing stability and sustainability upon exit from the program. Exit destination information is also collected. Accordingly, the project meets the HMIS requirements.

In sum, based on the above-noted information, which is additionally explained in more detail in the documents from LAHSA cited in the Reference section to this document, the project meets the requirements set forth in Government Code Section 65662.

4. The Project is in a Qualified Location Under AB 1197

AB 1197 requires that the site be located in "either a mixed-use or nonresidential zone permitting multifamily uses or infill site...." (PRC § 21080.27(a)(2).) The project is considered an infill site because the site has been developed with, and its perimeter is surrounded by, qualified urban uses.

The Department of City Planning determined on March 4, 2021 that the parcel identified as APN # 5492-021-900, approximately located at Ave. 60 just west of Arroyo Dr. meets this requirement because at least 75% of the perimeter of the parcel is surrounded by qualified urban uses. The Project Site is within a larger approximately 6.8-acre parcel that is located just west of the Arroyo Seco Parkway (the 110 Freeway) and the Arroyo Seco Flood Control Channel. The Arroyo Seco, is a 24.9-mile-long seasonal river, canyon, watershed, and cultural area that has been channelized into a flood control channel. (Wikipedia, 2021) It runs along the entire east side of the Arroyo Seco Parkway, and through this specific portion of the Hermon - Highland Park Northeast community of Los Angeles. The parcel and Project Site's entire eastern boundary runs along and abuts the Arroyo Seco Parkway.

The Project Site consists of one irregularly shaped lot with an area of approximately 1.1 acre having a frontage along Ave. 60, just west of Arroyo Dr. There is a fire access lane that spans the eastern boundary of the site. The project location is zoned OS with an Open Space land use. The project location is located within an urban area on a parcel that is currently developed as a Hermon Park in the Arroyo Seco. At least 75% of the perimeter of the parcel is surrounded by qualified urban uses. There are multi-family residential uses to the north, south and west of the parcel. The eastern boundary abuts the Arroyo Seco Parkway and the Arroyo Seco Flood Channel, both of which are considered a public institutional use. Therefore, the parcel meets the definition of infill site. (City of Los Angeles Department of City Planning, 2021) Therefore, the Project parcel and site are surrounded by urban uses and is considered a qualified location under AB 1197.

5. The Project Involves Qualified Funding Under AB 1197

AB 1197 (Public Resources Code Section 21080.27(a)(2)(A)-(D)) exempt emergency shelter projects from CEQA which have at least a portion of the funding from qualified sources. The project is funded, at least in part, through State of California Homeless Housing, Assistance and Prevention Program (HHAP) for the improvements. The City also has determined that the Project is a homeless shelter project that would qualify for the other homeless shelter funding sources identified in AB 1197, and that those funds may be applied to this Project if such funding becomes available, which further qualifies this Project for the exemption under AB 1197. Because these funding sources are qualified funding sources under Public Resources Code Section 21080.27(a)(2)(A), the funding requirement is met.

6. The City's Actions Qualify under AB 1197 as Actions in Furtherance of Providing Emergency Shelters in the City of Los Angeles

AB 1197 (Public Resources Code Section 21080.27(b)(1)), exempts from CEQA "any activity approved by or carried out by the City of Los Angeles in furtherance of providing emergency shelters or supportive housing in the City of Los Angeles." The project includes the construction of a new homeless shelter site that includes tiny homes and operating an emergency shelter, as described above, which is located in the City of Los Angeles. The City will provide funding and enter into contracts with a qualified service provider and/or LAHSA, to lease and operate the emergency shelter. Therefore, the City's actions are in furtherance of providing emergency shelters in the City of Los Angeles, and qualify for exemption from CEQA under AB 1197.

7. AB 1197 Conclusion

Based on the above-noted information, the project is exempt from CEQA pursuant to Public Resources Code Section 21080.27.

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Attachment

Project Site Plan

ATTACHMENT 5
HISTORIC HIGHLAND PARK NEIGHBORHOOD
COUNCIL

Post Office Box 50791
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<http://www.highlandparknc.com>
Certified as NC #33 May 28, 2002

CITY OF LOS
ANGELES

CALIFORNIA



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Historic Highland Park Neighborhood Council

COMMUNITY IMPACT STATEMENT

March 4th, 2021

Attn: Council President Nury Martinez, Councilmember Mark Ridley-thomas, Councilmember Kevin De Leon, Councilmember Monica Rodriguez

From: Historic Highland Park Neighborhood Council

RE: Support for 7541 North Figueroa / Arroyo Drive Unused Section (Apn 5492 021 900 Adjacent) / Temporary Homeless Housing ([CF 19-0774-S1](#))

Dear Los Angeles City Councilmembers,

The Historic Highland Park Neighborhood Council supports this [Motion](#) [Exhibit 1] proposed by Council Member Kevin de León of Council District 14 to provide temporary homeless housing for Highland Park and Eagle Rock.

Due to the urgency to provide housing regarding the increase in the unhoused population throughout Los Angeles, CD 14 and in North East Los Angeles in particular, this Motion requests that any available city-owned land be considered for homeless housing. Two locations have been identified that can provide temporary housing to the homeless of Eagle Rock and Highland Park.

This Motion requests:

- that the Bureau of Engineering, CLA and CAO, Dept of Recreation and Parks initiate the design process for temporary homeless housing on the parking lot located at 7541 N. Figueroa Street, and the unused section of Arroyo Drive located near Assessor Parcel Number 5492 021 900;
- that the CAO and Dept. of Recreation and Parks executive any agreements with SoCal Edison and the County of Los Angeles for 7541 N. Figueroa St. to begin the process of construction of temporary homeless housing;
- that the Dept of Recreation and Parks hear the matter within 30 days for consideration to approve usage of the N. Figueroa parking lot for temporary homeless housing;
- that priority for all units will be given to unhoused individuals in CD 14 starting with the neighborhoods of Eagle Rock and Highland Park, that LAHSA be instructed that unhoused individuals in Eagle Rock and Highland Park be given right of first refusal for the new units to be constructed at both sites; and
- that the CAO identify the necessary funding to construct temporary homeless housing on the aforementioned sites.

The Historic Highland Park Neighborhood Council Vote: YES 18 NO 0 ABSTAIN 0

Sincerely,

A handwritten signature in black ink, appearing to read 'Estrella Sainburg', with a long horizontal line extending to the right.

Estrella Sainburg

President,

Historic Highland Park Neighborhood Council

HOMELESSNESS AND POVERTY

MOTION

The city's current homelessness crisis demands an "all hands on deck" approach. Currently, the city is spending tens of millions of dollars on emergency response and sanitation services to address the homelessness crisis. In order to solve this problem, the city must use all available land to house unhoused individuals.

Council District 14 has the largest concentration of unhoused individuals of any City Council District. In fact, Council District 14 alone is home to more unhoused individuals than in the entire City of San Jose or the City of San Diego. Due to the large number of unhoused people within the district, all available properties must be used to house our unhoused constituents. In Northeast Los Angeles, two locations have been identified that can provide temporary housing to the homeless of Eagle Rock and Highland Park.

I THEREFORE MOVE that the Bureau of Engineering, in coordination with the City Administrative Officer, Chief Legislative Analyst, and Department of Recreation and Parks be instructed to initiate the design process for temporary homeless housing on the parking lot located at 7541 N. Figueroa Street as well as the unused section of Arroyo Drive located adjacent to Assessor Parcel Number 5492021900.

I FURTHER MOVE that the City Administrative Officer and the Department of Recreation and Parks be authorized to execute any agreements with SoCal Edison and the County of Los Angeles for the property located at 7541 N. Figueroa Street in order to effectuate the construction of temporary homeless housing.

I FURTHER MOVE that the Board of Recreation and Parks Commissioners be requested to hear this matter within 30 days for consideration of approval of the usage of the parking lot at 7541 N. Figueroa Street for temporary interim housing for people experiencing homelessness.

I FURTHER MOVE that upon completion of construction, priority for all units shall be given to unhoused individuals in Council District 14, starting with the neighborhoods that each site is located within;

I FURTHER MOVE that the City Administrative Officer and the Housing & Community Investment Department be instructed to modify any necessary contracts with the Los Angeles Homeless Services Authority to ensure that homeless individuals in Eagle Rock and Highland Park are given right of first refusal for the new units to be constructed at both sites.

I FURTHER MOVE that the City Administrative Officer be instructed to identify the necessary funding to construct temporary homeless housing on the aforementioned sites.

PRESENTED BY

SECONDED BY



KEVIN DE LEÓN
Councilmember, 14th District



FEB 02 2021

**EAGLE ROCK
NEIGHBORHOOD COUNCIL**

Executive Committee

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**CITY OF
LOS ANGELES
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March 2, 2021

Los Angeles City Council
200 N. Spring St.
Los Angeles, CA 90012

**RE: 7541 NORTH FIGUEROA / ARROYO DRIVE UNUSED SECTION (APN 5492 021 900
ADJACENT) / TEMPORARY HOMELESS HOUSING (CF 19-0774-S1)**

On March 2, 2021, in a Brown Act noticed public meeting was held with a quorum of 13 board members present and that by a vote of 13 yes, 0 no, the Eagle Rock Neighborhood Council (ERNC) adopted the following Community Impact Statement concerning CF 19-0774-S1.

The Eagle Rock Neighborhood Council supports this [Motion](#).

Due to the urgency to provide housing due to the increase in the unhoused population throughout Los Angeles, CD 14 and in North East Los Angeles, this Motion requests that any available city-owned land be considered for homeless housing. Two locations have been identified that can provide temporary housing to the homeless of Eagle Rock and Highland Park.

This Motion requests:

- that the Bureau of Engineering, CLA and CAO, Dept of Recreation and Parks initiate the design process for temporary homeless housing on the parking lot located at 7541 N. Figueroa Street, and the unused section of Arroyo Drive located near Assessor Parcel Number 5492 021 900;
- that the CAO and Dept. of Recreation and Parks execute any agreements with SoCal Edison and the County of Los Angeles for 7541 N. Figueroa St. to begin the process of construction of temporary homeless housing;
- that the Dept of Recreation and Parks hear the matter within 30 days for consideration to approve usage of the N. Figueroa parking lot for temporary homeless housing;
- that priority for all units will be given to unhoused individuals in CD 14 starting with the neighborhoods of Eagle Rock and Highland Park, that LAHSA be instructed that unhoused

individuals in Eagle Rock and Highland Park be given right of first refusal for the new units to be constructed at both sites; and

- that the CAO identify the necessary funding to construct temporary homeless housing on the aforementioned sites.

Sincerely,

Jesse Saucedo

Jesse Saucedo, President
Eagle Rock Neighborhood Council (ERNC)