

# APPROVED

JAN 21 2021

## BOARD OF RECREATION AND PARK COMMISSIONERS

**BOARD REPORT**

NO. 21-013

DATE January 21, 2020

C.D. 3

### BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: PARCEL MAP NO. AA-2020-5375-PMLA – RECOMMENDATION TO THE ADVISORY AGENCY FOR LAND DEDICATION OR IN-LIEU PARK FEE PAYMENT

AP Diaz	_____	M. Rudnick	_____
H. Fujita	_____	<i>for</i> C. Santo Domingo	<u>DF</u>
V. Israel	_____	N. Williams	_____

*M. Shue*  
\_\_\_\_\_  
General Manager

Approved   X                        Disapproved \_\_\_\_\_                      Withdrawn \_\_\_\_\_

### RECOMMENDATIONS

1. Recommend that the Advisory Agency require Parcel Map No. AA-2020-5375-PMLA (Project) to pay in-lieu fees to the City in order fulfill the Project's requirements under provisions of Los Angeles Municipal Code Section 12.33; and,
2. Authorize the Department of Recreation and Parks' (RAP) General Manager or designee to provide a Report to the Advisory Agency informing them of the Board of Recreation and Park Commissioners' (Board) recommendation.

### PARK FEE SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update Ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or to pay a fee in-lieu (Park Fee) for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in Los Angeles Municipal Code (LAMC) Section 12.33 C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

LAMC Section 17.03 (Advisory Agency) states that "[t]he Advisory Agency is charged with the duty of making investigations and reports on the design and improvement of proposed subdivisions, of requiring the dedication of land, the payment of fees in lieu thereof, or a combination of both, for the acquisition and development of park and recreation sites and facilities...". The Director of the City Planning Department (City Planning) is designated as the Advisory Agency for the City of Los Angeles and is authorized to act in such capacity through one or more deputies appointed by him or her for that purpose.

## BOARD REPORT

PG. 2 NO. 21-013

LAMC Section 17.04 (Subdivision Committee) states that RAP is to submit a Report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both for the acquisition and development of park or recreational sites and facilities to serve the future inhabitants of such subdivision...".

### PROJECT SUMMARY

The proposed Project, located at 6100 North Canoga Avenue in the Warner Center community of the City, proposes a new mixed-use development comprised of 880 units (342 live-work units and 533 apartment units) and 204 hotel guest rooms. The proposed Project also includes retail and amenity spaces, along with 1,451 parking spaces and 369 bicycle spaces. This proposed Project is located within the boundaries Warner Center 2035 (WC2035) Plan.

The proposed Project also includes approximately 143,229 square-feet (SF) of common open space, which includes several courtyards, roof decks, fitness rooms, club and lounge areas, and private patios.

The Project, as submitted to City Planning, is not proposing to make a park land dedication to the City of Los Angeles either on-site or off-site of the Project location.

Conceptual renderings of the Project are attached (Attachment 1).

### Warner Center 2035 Plan (WC2035 Plan)

The WC2035 Plan is a specific development plan that was adopted by the City in 2013 (Ordinance No. 182,766). According to the WC2035 Plan, "[t]he purpose of the Warner Center 2035 Plan is to create a vital mixed-use, transit-oriented district for the Plan area and surrounding communities. The WC2035 Plan's strategic provisions are intended to achieve a future state for the Plan area in which Warner Center's city streets are energized with the activity of many uses proximate to each other."

One of the guiding principles of the WC2035 Plan is to "create a network of publicly-accessible open spaces to encourage public gathering and pedestrian activity." In order to achieve the above, the WC2035 Plan includes detailed Publicly Accessible Open Space (PAOS) requirements for projects being developed within the plan area.

A summary of select WC2035 Plan PAOS requirements are below:

Section 6.2.2.1 (Requirements): All Projects shall be required to provide PAOS that: (i) has a minimum square footage equal to fifteen percent (15%) of the net site area (i.e., after dedication) of the entire Project site and (ii) satisfies all of the required standards set forth in subsection 6.2.2.2.

## BOARD REPORT

PG. 3 NO. 21-013

Section 6.2.2.2 (Standards): In order for a proposed PAOS to be counted toward the 15% minimum requirements, all of the following requirements shall be incorporated:

Section 6.2.2.2.1 (Contiguous): PAOS within a project may be adjacent to or interrupted by the public right-of-way, but otherwise shall be contiguous.

Section 6.2.2.2.2 (Internally Integrated): PAOS within a Project shall be integrated into the overall design of such Project.

Section 6.2.2.2.3 (Externally Integrated): PAOS shall be integrated with neighboring buildings or structures and any existing, or approved, PAOS.

Section 6.2.2.2.4 (Accessible to the Public): At minimum, PAOS shall be open to the public from 6 a.m. to 10 p.m. seven days a week.

Section 6.2.2.2.5 (Open to the Sky): At least ninety percent (90%) of each PAOS shall be open to the sky, excluding shade structures and other features/elements that are not calculated as floor area.

Section 6.2.2.2.6 (Landscaped): At least fifty percent (50%) of each PAOS shall be landscaped.

Section 6.2.2.2.7 (Seating): Seating shall be provided at a rate of one seat per every 500 square feet of PAOS provided. Seating may be provided in a variety of traditional (i.e., benches) and non-traditional forms (i.e., planter walls). Seating may be permanent or movable.

Section 6.2.2.4.1 (Additional Requirements): Prior to the issuance of any building permit for a Project, a covenant running with the land shall be recorded against the Project site to ensure that the PAOS area for such Project will be maintained in good condition and made available and accessible to the public.

It should be noted that the provisions of the WC2035 Plan do not supersede the provisions of Los Angeles Municipal Code Section 12.33. All residential projects located in the WC2035 Plan are required to mitigate their park and recreation impacts through the dedication of land, payment of in-lieu Park Fees, or by providing on-site improvements equivalent in value of the in-lieu fees. These mitigation requirements are included as one of the environmental conditions and mitigations specified in the Warner Center 2035 Plan Final EIR (WC2035 Plan Appendix C), which are to be imposed on individual Projects as detailed in the WC2035 Plan.

### EARLY CONSULTATION MEETING

Pursuant to LAMC Section 12.33 D.1, applicants of residential Subdivision projects with more than fifty (50) residential dwelling units are required to meet with RAP and City Planning prior to submitting a tract map application to City Planning. Per LAMC Section 12.33 D.1, "[t]he purpose of this early consultation is to discuss whether the City requires land dedication for the project and/or to discuss credits available to the applicant, if any."

## BOARD REPORT

PG. 4 NO. 21-013

RAP and City Planning staff held an Early Consultation meeting with Project representatives on **December 10, 2020**. The meeting included a discussion of the requirements of LAMC Section 12.33, the maximum land dedication that the Project could be required to provide, options and opportunities for on-site or off-site park land dedications, the calculation of Park Fees, and the various recreational credits available to the proposed Project.

### ADVISORY AGENCY

The proposed Project filed a tract map application with City Planning on **September 14, 2020**. On October 22, 2020, the Advisory Agency sent RAP a notification requesting RAP provide its report and recommendations on the Project by a deadline identified as "**Upon Receipt**." The Advisory Agency Filing Notification is attached (Attachment 2).

It should be noted that City Planning accepted the tract map application for the Project prior to the required Early Consultation meeting. After RAP staff received the above notification, staff contacted City Planning staff and advised them that the project had not yet participated in the required Early Consultation meeting and that the Project application should be placed on hold until the required Early Consultation Meeting was completed. RAP staff advised City Planning staff that RAP's comments for the proposed Project would be provided after the required Early Consultation meeting was held and the Board had an opportunity to consider the project and provide a report to the Advisory Agency.

If no written Report is provided to the Advisory Agency, the Advisory Agency will assume that RAP has no report to make.

### REQUIRED LAND DEDICATION AND IN-LIEU FEE PAYMENT

Pursuant to LAMC Section 12.33 C, "All new residential dwelling units and joint living and work quarters shall be required to dedicate land, pay a fee, or provide a combination of land dedication and fee payment for the purpose of acquiring, expanding and improving park and recreational facilities for new residents."

LAMC 12.33 D.2.b states "Any land dedication for park and recreation purposes shall not be deducted from a site's gross lot area for the purposes of calculating project density, lot area, buildable area or floor area ratio."

#### Land Dedication

LAMC Section 12.33 D states that residential Subdivision projects with more than fifty (50) residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The maximum amount of land that the Advisory Agency could require a project to dedicate to the City is calculated based on the formula detailed in LAMC Section 12.33 D.2:

- **LD = (DU x P) x F**

## BOARD REPORT

PG. 5 NO. 21-013

- **LD** = Land to be dedicated in acres.
- **DU** = Total number of new market-rate dwelling units.
- **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
  - **P = 2.88**
- **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
  - **F = 0.00251 (2.51 acres of park land per 1,000 residents)**

The **maximum** required land dedication for the Project's proposed 880 units would be:

$$\mathbf{6.36\ Acres} = (880 \times 2.88) \times 0.00251$$

The amount of land that is required to be dedicated is subject to change depending on the Park Service factor in effect at the time the Project is required to dedicate the land; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per LAMC Section 12.33 D.3, land dedications may be made on-site or off-site of the project location. Any off-site land dedication shall be located within a certain radius of the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

While the Advisory Agency has the authority to require the Project to dedicate land to the City for park purposes, the Board would need to approve any proposed park land dedication before that land can be acquired and accepted by the City. Therefore, if the Advisory Agency requires the Project to dedicate land to the City, RAP staff would need to prepare a subsequent report to the Board regarding the proposed land dedication. That report would detail the amount and location of the land being dedicated, and the improvements, if any, proposed to be developed on the dedicated property. Additionally, if it is determined that the Project will provide a combination of land dedication and fee payment, the report would also identify the amount of in-lieu fees that would be owed to the City after RAP credits the Project for the amount of land being dedicated.

Per Section 66477 (7) of the California Government Code, "Only the payment of fees may be required in subdivisions containing 50 parcels or less, except that when a condominium project, stock cooperative or community apartment project, as those terms are defined in Sections 4105, 4125, and 4190 of the Civil Code, exceeds 50 dwelling units, dedication of land may be required

## BOARD REPORT

PG. 6 NO. 21-013

notwithstanding that the number of parcels may be less than 50.” The Project applicant states that the Project is not a condominium project, stock cooperative or community apartment project, as those terms are defined in Sections 4105, 4125, and 4190 of the Civil Code.

### In-Lieu Fee Payment

Pursuant to LAMC Section 12.33, the Park Fee amount is determined by the type of residential development project (Subdivision or Non-Subdivision) being developed. RAP shall collect these fees pursuant to LAMC Section 19.17 and the Park Fees Section of RAP’s Rate and Fee Schedule. As of July 1, 2020, Residential Subdivision projects that are subject to the Subdivision fee shall pay:

**\$13,609.00 x number of new non-exempt dwelling units**

The maximum Park Fees payment for the Project’s proposed 880 units would be:

**\$11,975,920.00 = \$13,609.00 x 880 dwelling units**

The amount of Park Fees that are required to be paid is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per LAMC Section 12.33 E.3, any Park Fees collected by the City shall be expended within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

### STAFF ANALYSIS AND RECOMMENDATION

In order for RAP staff to determine which mechanism, land dedication or payment of Park Fees, to recommend for the Board’s review and approval, RAP staff analyzes each proposed development project, including its location, new population, surrounding parks, any nearby active or proposed park acquisition or park development project, existing park service radius gaps, etc. RAP staff also analyzes any parks, open spaces, or recreational areas anticipated to be provided by each proposed development project in order to determine if those facilities reduce the need for new public recreation and park facilities to serve the project residents.

One of the most critical factors that RAP staff uses to analyze proposed developments is existing park service radius gaps. According to the Trust for Public Land 2020 Park Score Index, approximately 62% of residents in the City of Los Angeles live within a 10-minute walk, from a public park or open space. The Mayor’s Office of Sustainability pLAN sets a goal of

## BOARD REPORT

PG. 7 NO. 21-013

increasing the percentage of Angelenos living within a one-half mile from a park to at least 65% by 2025; 75% by 2035; and 100% by 2050. RAP has employed a variety of strategies, such as the 50 Parks Initiative, that are intended to increase park access and meet these park access goals.

### Site Analysis

The proposed Project is located within the Warner Center community of the City and within the Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan Area. Currently, the Project site is commercial retail space. It is surrounded by commercial space and parking lots on all sides.

An aerial view of the Project site is attached hereto (Attachment 3). A map showing the generalized zoning of the project site is also attached (Attachment 4).

The proposed Project is located in a low-density area of the City. Below is analysis of the density of the area within walking distance of the Project site and a comparison to both citywide density and local community density:

- Half-mile walking distance of the Project site (EPADSS): 5,449 persons (3,106 persons per square mile)
- City of Los Angeles Population Density (2010 United States Census): 8,092 persons per square mile.
- Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan Area (2017 American Community Survey): 6,875 persons per square mile

### Project Open Space and Recreational Areas

As previously discussed, the proposed Project is required to provide 57,523 SF of PAOS. The Project proposing to provide a total of 59,104 SF of PAOS.

The Project is also required to provide approximately 94,700 SF of usable common open space in addition to the required to the PAOS, which includes several courtyards, roof decks, fitness rooms, club and lounge areas, and private patios. In total, the Project has provided 143,229 SF of usable common open space.

A conceptual illustration of the Project's proposed PAOS is attached (Attachment 7).

The amount of common open space being provided by the proposed Project does not appear to significantly exceed the amount of open space the proposed Project would otherwise be required to provide per LAMC Section 12.21 (or other planning documents, specific plans, etc.). Additionally, it does not appear that these open spaces will include the type and variety of active and passive recreational facilities and amenities that are typically found in the City's Neighborhood and Community Parks and that are needed to meet the needs of residents of all ages and abilities.

## BOARD REPORT

PG. 8 NO. 21-013

As currently proposed, these recreational amenities would likely not significantly reduce the Project's impact on existing public recreational and park facilities nor would they likely significantly reduce the need for new or expanded public recreational and park facilities to serve the Project's residents.

### Public Park Access

There are no RAP-owned public park within a half-mile walking distance from the Project site.

A map showing the project location and nearby public parks is attached hereto (Attachment 5).

As previously noted in this Report, a land dedication for a new public park could be located either on-site or off-site of the Project location. If a new public park was provided at the Project location the park would serve the new residents of the Project and would serve approximately **2,423** new, previously unserved, residents within a half-mile walking distance (Attachment 6). If a new public park was provided off-site of the Project location the park would serve the new residents of the Project as well as an unknown number of new, previously unserved, residents within a half-mile walking distance. If the proposed Project does elect to make some or all of its required land dedication off-site, staff would work with the Project to identify a site that would serve project residents, help close an existing park service area gap, and maximize, to the extent feasible, the number of new residents who would be within a half-mile walking distance of a public park.

### Nearby Public Park Projects

There are no new public parks currently in development within a two (2) mile radius of the Project site.

There is (1) park renovation project in development within a two (2) mile radius of the Project site that have previously been reviewed and approved by the Board and are currently fully funded:

- Shadow Ranch Park – Ballfield Improvements (PRJ20776) Project

There are two (2) park renovation projects currently in various stages of planning and development within a two (2) mile radius of the Project site that are either still pending Board approval and/or are not currently fully funded:

- Canoga Park Senior Citizen Center – Senior Center Renovation Project
- Serrania Avenue Park – Restroom Improvements Project

## BOARD REPORT

PG. 9      NO. 21-013

### Staff Recommendation

RAP staff recommends that the appropriate mitigation measure for this proposed Project is the payment of in-lieu fees to the City since the Project has less than 50 parcels and, per the Project applicant, the proposed Project is not a condominium project, stock cooperative or community apartment project, as defined in Sections 4105, 4125, and 4190 of the Civil Code. Therefore, as previously noted in this report, based on Section 66477 (7) of the California Government Code, only the payment of fees may be required.

### FISCAL IMPACT

As it is not known at this time if the Advisory Agency will recommend the proposed Project dedicate park land to the City or to pay Park Fees, the potential Fiscal Impact to the RAP's General Fund is unknown.

### STRATEGIC PLAN INITIATIVES AND GOALS

Approval of this Board Report advances RAP's Strategic Plan by supporting:

**Goal No. 3:** Create & Maintain World Class Parks and Facilities

**Outcome No. 3:** Increased park maintenance, with a focus on cleanliness.

**Result:** Collected fees will fund capital improvements at existing parks in the Project area.

This Report was prepared by Ligaya Khennavong, Management Assistant, Planning, Maintenance and Construction Branch.

### LIST OF ATTACHMENTS

- 1) Conceptual Project Renderings
- 2) Advisory Agency Filing Notice
- 3) Aerial View of Project Site
- 4) Generalized Zoning
- 5) Project Location and Surrounding Parks
- 6) EPADSS Report



**SHEET INDEX**

SHEET	DESCRIPTION
G1.0	COVER SHEET
G1.1	PROJECT INFORMATION - UNIT SUMMARY, PARKING
G1.2	CONTEXT AND CONNECTIVITY DIAGRAM
A1.2	SITE PLAN
A1.3	SITE PLAN - P.A.O.S.
A1.4	SITE PLAN - PHASING
A1.5	BUILDING 1 - BUILDING CODE AREA PLAN
A1.6	BUILDING 2 - BUILDING CODE AREA PLAN
A2.0.5	BUILDING 1 COMPOSITE PLANS - LEVEL 0
A2.0	BUILDING 1 COMPOSITE PLANS - LEVEL 1 & 2
A2.1	BUILDING 1 COMPOSITE PLANS - LEVEL 3 & 4
A2.2	BUILDING 1 COMPOSITE PLANS - LEVEL 5 & 6
A2.3	BUILDING 1 COMPOSITE PLANS - LEVEL 7 & 8
A2.4	BUILDING 1 COMPOSITE PLANS - ROOF
A2.4.5	BUILDING 2 COMPOSITE PLANS - LEVEL 0
A2.5	BUILDING 2 COMPOSITE PLANS - LEVEL 1 & 2
A2.6	BUILDING 2 COMPOSITE PLANS - LEVEL 3 & 4
A2.7	BUILDING 2 COMPOSITE PLANS - LEVEL 5 & 6
A2.8	BUILDING 2 COMPOSITE PLANS - LEVEL 7 & 8
A2.9	BUILDING 2 COMPOSITE PLAN - ROOF
A2.10	CONCEPTUAL BUILDING ELEVATIONS
A2.11	CONCEPTUAL BUILDING ELEVATIONS
A2.12	CONCEPTUAL BUILDING ELEVATIONS
A2.13	CONCEPTUAL BUILDING ELEVATIONS
A2.14	CONCEPTUAL BUILDING ELEVATIONS
A2.15	CONCEPTUAL BUILDING ELEVATIONS
A2.16	CONCEPTUAL BUILDING ELEVATIONS
A2.17	CONCEPTUAL BUILDING ELEVATIONS
A2.18	CONCEPTUAL BUILDING ELEVATIONS
A2.19	CONCEPTUAL BUILDING ELEVATIONS
A2.20	CONCEPTUAL BUILDING ELEVATIONS
A2.21	CONCEPTUAL BUILDING ELEVATIONS
A5.0	HOTEL COVER SHEET
A5.1	HOTEL SITE PLAN
A5.2	HOTEL SUMMARY
A5.21	BUILDING CODE AREA PLANS
A5.3	HOTEL FLOOR PLANS
A5.4	HOTEL FLOOR PLANS
A5.5	HOTEL FLOOR PLANS
A5.6	HOTEL WEST ELEVATION
A5.7	HOTEL EAST ELEVATION
A5.8	HOTEL NORTH & SOUTH ELEVATIONS
A5.9	HOTEL VIEWS
L1	COMPOSITE CONCEPTUAL LANDSCAPE PLAN
L2	GROUND LEVEL CONCEPTUAL LANDSCAPE PLAN
L3	LIFESTYLE IMAGERY
L3	OPEN SPACE DIAGRAM
L5	TREE PLAN
L5A	PLANT LEGEND AND NOTES
L6	CONCEPTUAL LIGHTING PLAN
C-1	TITLE SHEET
C-2	ALTA SURVEY
C-3	EXISTING TREE AND SURVEY REPORT
C-4	CONCEPTUAL GRADING
C-5	CONCEPTUAL WATER QUALITY

**Project Team**

APPLICANT / OWNER  
 KAPLAN COMPANIES  
 77 POST OAK BLVD., #850  
 HOUSTON, TX 77056  
 (713) 977-5699  
 Contact: JERRY DAVIS

RESIDENTIAL ARCHITECT  
 ARCHITECTS ORANGE  
 144 N. ORANGE STREET  
 ORANGE, CA 92666  
 (714) 639-9860  
 Contact: MICHAEL HEINRICH

LANDSCAPE ARCHITECT  
 MJS LANDSCAPE  
 507 30TH STREET  
 NEWPORT BEACH, CA 92663  
 (949) 675-9964  
 Contact: MARK SCHATTINGER

CIVIL ENGINEER  
 FUSCOE ENGINEERING INC  
 600 WILSHIRE BOULEVARD, SUITE 1470  
 LOS ANGELES, CA 90017  
 (805) 298 2999  
 Contact: SAMSON KAWJAREE

**VICINITY MAP**



**G1.0**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



KAPLAN COMPANIES  
 777 POST OAK BOULEVARD  
 SUITE 850  
 HOUSTON, TEXAS 77056



SUBMITTAL SET REV. DATE:  
 2020.08.07  
 2020-08.07  
 19-242

Monday, August 10, 2020 9:56:48 AM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\3 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_G1.0 COVER SHEET.DWG

# DISTRICT AT WARNER CENTER

## PROJECT DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 9 OF TRACT NO. 30615, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 790 PAGES 98, 99 AND 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 2149-005-012

**LOT 3: BUILDING '1'** IS A 438 UNIT PROJECT CONSISTING OF A 8-STORY TYPE I-A HIGH RISE, 5-STORY TYPE III-A RESIDENTIAL ON GRADE ALONG A 5-STORY TYPE III-A RESIDENTIAL OVER A TYPE I-A THREE LEVEL PARKING STRUCTURE.

**LOT 2: BUILDING '2'** IS A 442 UNIT PROJECT CONSISTING OF A 8-STORY TYPE I-A HIGH RISE, 5-STORY TYPE III-A RESIDENTIAL ON GRADE ALONG A 5-STORY TYPE III-A RESIDENTIAL OVER A TYPE I-A THREE LEVEL PARKING STRUCTURE.

**LOT 1: HOTEL** IS A 12-STORY, 204 KEY PROJECT

LOT 3:	(169,101 S.F.)	3.88 ACRES
LOT 2:	(174,759 S.F.)	4.01 ACRES
TOTAL UNITS (BLDG. 1&2):		880 UNITS
DENSITY:		111.53 DU/AC
LOT 1:	(39,627 S.F.)	0.91 ACRES
NET LAND AREA:	(383,486 S.F.)	8.8 ACRES
GROSS LAND AREA:	(384,449 S.F.)	8.83 ACRES

BUILDING CODE SQUARE FOOTAGE SUMMARY	
BUILDING	AREA (S.F.)
BUILDING 1	732,314
BUILDING 2	771,762
HOTEL	209,987
<b>TOTAL AREA</b>	<b>1,714,063</b>

PARKING FLOOR AREA			
CONSTRUCTION TYPE	FLOOR	BUILDING 1 GROSS SF	BUILDING 2 GROSS SF
PODIUM COURTYARD		31,651	33,112
PODIUM TYPE I PARKING STRUCTURE		87,821	92,205
		87,821	92,205
		87,821	92,205
<b>STRUCTURE GSF TOTALS</b>		<b>295,114</b>	<b>309,727</b>

BLDG. 1 - COMMON SPACE SUMMARY	
LOCATIONS	
HIGH RISE LOBBY	2,147
HIGH RISE CLUB RM.	627
HIGH RISE ROOF DECK	750
RESIDENTIAL LOBBY	1,647
RESIDENTIAL OFFICES	825
RESIDENTIAL CLUB/LOUNGE	2,101
RESIDENTIAL FITNESS	2,012
PET SPA	1,153
BIKE STORAGE / KITCHEN	1,340
COURTYARD 1	13,460
COURTYARD 2	7,164
COURTYARD 3	11,027
<b>TOTAL COMMON SPACE PROVIDED</b>	<b>44,253</b>

BLDG. 2 - COMMON SPACE SUMMARY	
LOCATIONS	
HIGH RISE LOBBY	1,541
HIGH RISE CLUB RM.	664
HIGH RISE ROOF DECK	750
RESIDENTIAL LOBBY / OFFICES	2,555
RESIDENTIAL CLUB/LOUNGE	2,225
RESIDENTIAL FITNESS	2,828
PET SPA	522
BIKE STORAGE / KITCHEN	825
COURTYARD 1	13,466
COURTYARD 2	6,469
COURTYARD 3	13,177
<b>TOTAL COMMON SPACE PROVIDED</b>	<b>43,481</b>

NOTE:  
REFER TO LANDSCAPE DRAWINGS FOR OPEN SPACE SUMMARY

NON-RESIDENTIAL (URBO MARKET)		
RETAIL STORES, GENERAL	SHORT TERM	LONG TERM
<b>BICYCLE PARKING</b>	1 PER 2,000 S.F. 2,139 S.F. / 2,000 = 2	1 PER 2,000 S.F. 2,139 S.F. / 2,000 = 2

TABLE 12.21.A.16(a)(1)(i)

BLDG. 1 - UNIT SUMMARY					
UNIT TYPE	UNIT NET SQ. FT.	NUMBER OF UNITS	TOTAL NET SQ. FT.	%	UNIT%
S3	568	40	22,720	9.1%	9.1%
HR1-A3	928	6	5,568	1.4%	
HR1-A3.1	816	1	816	0.2%	
HR1-A4	881	7	6,167	1.6%	
A0	571	128	73,068	29.2%	
A1	738	24	17,712	5.5%	
A1.1	810	2	1,620	0.5%	
A2	729	55	40,095	12.6%	
A2.1	756	1	756	0.2%	
A3	776	27	20,952	6.2%	
A3.1	823	2	1,646	0.5%	
A1-LW	1,113	7	7,791	1.6%	
A-TH-A4	920	7	6,440	1.6%	
HR1-B3	1,153	7	8,071	1.6%	
HR1-B4	1,148	6	6,888	1.4%	
B1	1096	29	31,784	6.4%	
B1.1	1132	1	1,132	0.2%	
B1A	1096	22	24,112	5.0%	
B1A.1	1096	3	3,288	0.7%	
B2	1055	33	34,815	7.5%	
B5	1,005	19	19,095	4.3%	
B5.1	1,073	1	1,073	0.2%	
B-TH-B8	1232	7	8,624	1.6%	
B2-LW	1430	1	1,430	0.2%	
B3-LW	1528	2	3,056	0.5%	
<b>TOTAL</b>	<b>796</b>	<b>438</b>	<b>348,739</b>	<b>100.0%</b>	

BLDG. 2 - UNIT SUMMARY					
UNIT TYPE	UNIT NET SQ. FT.	NUMBER OF UNITS	TOTAL NET SQ. FT.	%	UNIT%
S3	568	16	9,088	3.6%	3.6%
HR2-A1	805	7	5,635	1.6%	
HR2-A2	963	7	6,741	1.6%	
A0	571	101	57,671	22.9%	
A1	738	86	63,468	19.5%	
A1.1	810	7	5,670	1.6%	
A2	729	50	36,450	11.3%	
A2.1	756	1	756	0.2%	
A3	776	21	16,296	4.8%	
A3.1	823	1	823	0.2%	
A1-LW	1,113	3	3,339	0.7%	
A-TH-A4	920	5	4,600	1.1%	
HR2-B1	1292	6	7,752	1.4%	
HR2-B2	1,463	6	8,778	1.4%	
HR2-B2.1	1,463	1	1,463	0.2%	
B1	1096	31	33,976	7.0%	
B1.1	1132	4	4,528	0.9%	
B1A	1096	21	23,016	4.8%	
B2	1055	36	37,980	8.1%	
B2.1	1085	1	1,085	0.2%	
B4	1116	5	5,580	1.1%	
B4.1	1175	2	2,350	0.5%	
B5	1,005	8	8,040	1.8%	
B-TH-B8	1232	7	8,624	1.6%	
B1-LW	1472	5	7,360	1.1%	
B3-LW	1528	4	6,112	0.9%	
<b>TOTAL</b>	<b>831</b>	<b>442</b>	<b>367,181</b>	<b>100.0%</b>	

BLDG. 1 PRIVATE OPEN SPACE				
UNIT	PATIO/BALCONY	ROOF DECK	QTY	TOTAL S.F.
S3	0	0	40	0
HR1-A3	71	0	6	426
HR1-A3.1	71	258	1	329
HR1-A4	77	0	7	539
A0	37	0	128	4,736
A1	64	0	24	1,536
A1.1	0	174	2	348
A2	42	0	55	2,310
A2.1	0	190	1	190
A3	43	0	27	1,161
A3.1	0	194	2	388
A1-LW	47	0	7	329
A-TH-A4	0	0	7	0
HR1-B3	70	0	7	490
HR1-B4	110	0	6	660
B1	63	0	29	1,827
B1.1	0	278	1	278
B1A	63	0	22	1,386
B1A.1	63	0	3	189
B2	43	0	33	1,419
B5	64	0	19	1,216
B5.1	0	204	1	204
B-TH-B8	68	0	7	476
B2-LW	84	0	1	84
B3-LW	48	0	2	96
<b>TOTAL</b>				<b>20,617</b>

BLDG. 2 PRIVATE OPEN SPACE				
UNIT	PATIO/BALCONY	ROOF DECK	QTY	TOTAL S.F.
S3	0	0	16	0
HR2-A1	82	0	7	574
HR2-A2	70	0	7	490
A0	37	0	101	3,737
A1	64	0	86	5,504
A1.1	0	174	7	1,218
A2	42	0	50	2,100
A2.1	0	190	1	190
A3	43	0	21	903
A3.1	0	194	1	194
A1-LW	47	0	3	141
A-TH-A4	0	0	5	0
HR2-B1	76	0	6	456
HR2-B2	111	0	6	666
HR2-B2.1	111	256	1	367
B1	63	0	31	1,953
B1.1	0	278	4	1,112
B1A	63	0	21	1,323
B2	43	0	36	1,548
B2.1	0	190	1	190
B4	56	0	5	280
B4.1	0	161	2	322
B5	64	0	8	512
B-TH-B8	68	0	7	476
B1-LW	71	0	5	355
B3-LW	48	0	4	192
<b>TOTAL</b>				<b>24,803</b>

BLDG. 1 - PARKING SUMMARY			
RESIDENTIAL PARKING REQUIRED (STANDARD: 8' x 18') (COMPACT: 7' x 18') (40% MAX)	UNITS/S.F.	MIN. PARKING	MAX. PARKING
STUDIO	40		
1 BR	267		
2 BR'S	131		
TOTAL UNITS	438	1.00	2.00
RESIDENTIAL			
<b>TOTAL RESIDENTIAL STALLS REQUIRED</b>		<b>438</b>	<b>876</b>

*PARKING # INCLUDED IN TOTAL STALLS REQUIRED				
EVCS PARKING REQUIRED (7' x 18')	QUAN.	RATIO	REQ'D	
EVCS - RESIDENTS	Ev ordinance-186485	438	0.30	131

TOTAL EVCS STALLS REQUIRED			
*PARKING # INCLUDED IN TOTAL STALLS REQUIRED			
ACCESSIBLE STALLS REQUIRED (9' x 18')	QUAN.	RATIO	REQ'D
HC - RESIDENTS	438	LABC SEC. 11B-208.3, 502, 812, 1113A, 1138A	9

TOTAL ACCESSIBLE STALLS REQUIRED: 9  
NOTE: PROVIDE (1) VAN ACCESSIBLE STALL FOR EVERY 6 ACCESSIBLE STALLS PROVIDED FOR EACH PARKING TYPE

PARKING PROVIDED - BLDG. '1'			
LEVEL	RESIDENTIAL SPACES	TOTAL SPACES	
LEVEL 1	237	237	
LEVEL 2	258	258	
LEVEL 3	226	226	
<b>TOTAL RESIDENTIAL SPACE PROVIDED</b>		<b>721</b>	<b>1.65</b>
<b>TOTAL PARKING PROVIDED</b>		<b>721</b>	

BLDG. 1 - BICYCLE PARKING SUMMARY				
RESIDENTIAL DWELLING UNITS	SHORT-TERM	REQUIRED SHORT-TERM	LONG TERM	REQUIRED LONG-TERM
1 to 25	1 SPACE PER 10 UNITS	2 SPACES	1 SPACE PER UNIT	25 SPACES
26-100	1 SPACE PER 15 UNITS	3 SPACES	1 SPACE PER 1.5 UNITS	50 SPACES
101 - 200	1 SPACE PER 20 UNITS	5 SPACES	1 SPACE PER 2 UNITS	50 SPACES
201 +	1 SPACE PER 40 UNITS	6 SPACES	1 SPACE PER 4 UNITS	59 SPACES
<b>TOTALS</b>		<b>18 SPACES</b>		<b>184 SPACES</b>

BLDG. 2 - PARKING SUMMARY			
RESIDENTIAL PARKING REQUIRED (STANDARD: 8' x 18') (COMPACT: 7' x 18') (40% MAX)	UNITS / S.F.	MIN. PARKING	MAX. PARKING
STUDIO	16		
1 BR	289		
2 BR'S	137		
TOTAL UNITS	442	1.00	2.00
RESIDENTIAL			
NON-RESIDENTIAL (URBO MARKET)	2,139 S.F.	2/1000 S.F.	4/1000 S.F.
<b>TOTAL RESIDENTIAL STALLS REQUIRED</b>		<b>442</b>	<b>884</b>
<b>TOTAL NON-RESIDENTIAL STALLS REQUIRED</b>		<b>5</b>	<b>9</b>

*PARKING # INCLUDED IN TOTAL STALLS REQUIRED				
EVCS PARKING REQUIRED (9' x 18')	QUAN.	RATIO	REQ'D	
EVCS - RESIDENTS	Ev ordinance-186485	442	0.30	133

EVCS - NON-RESIDENTS				
TOTAL EVCS STALLS REQUIRED	QUAN.	RATIO	REQ'D	
EVCS - NON-RESIDENTS	TABLE 99.05.106.3.3	5	LA GREEN BLDG. CODE	0

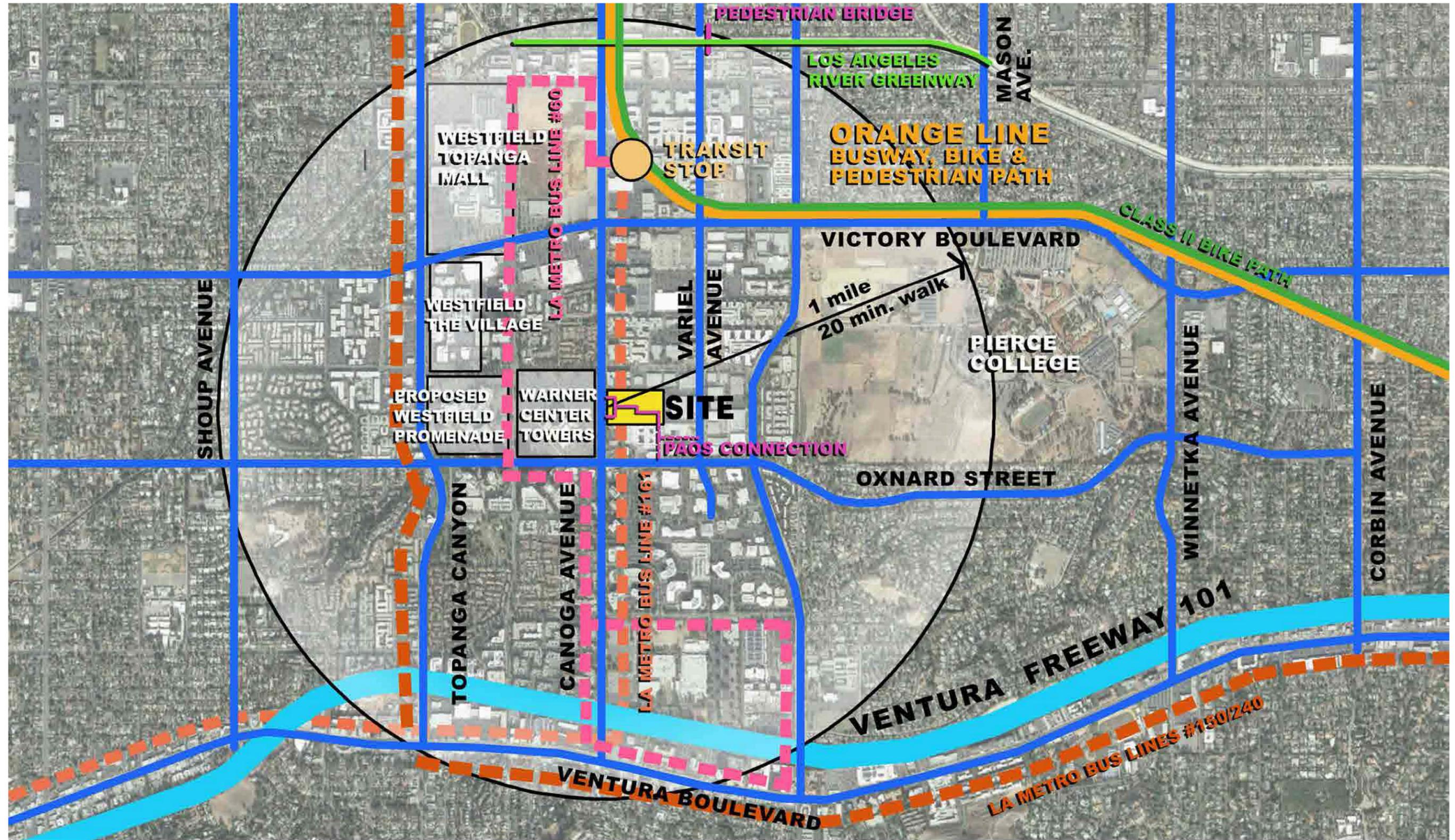
TOTAL EVCS STALLS REQUIRED			
ACCESSIBLE STALLS REQUIRED (9' x 18')	QUAN.	RATIO	REQ'D
HC - RESIDENTS	442	LABC SEC. 11B-208.3, 502, 812, 1113A, 1138A	9
HC - NON-RESIDENTS	5		1

TOTAL ACCESSIBLE STALLS REQUIRED: 10  
NOTE: PROVIDE (1) VAN ACCESSIBLE STALL FOR EVERY 6 ACCESSIBLE STALLS PROVIDED FOR EACH PARKING TYPE

PARKING PROVIDED - BLDG. '2'			
LEVEL	RESIDENTIAL SPACES	TOTAL SPACES	
LEVEL 1	244	244	
LEVEL 2	257	257	
LEVEL 3	229	229	
<b>TOTAL RESIDENTIAL SPACE PROVIDED</b>		<b>730</b>	<b>1.65</b>
<b>TOTAL PARKING PROVIDED</b>		<b>730</b>	

BLDG. 2 - BICYCLE PARKING SUMMARY				
RESIDENTIAL DWELLING UNITS	SHORT-TERM	REQUIRED SHORT-TERM	LONG TERM	REQUIRED LONG-TERM
1 to 25	1 SPACE PER 10 UNITS	2 SPACES	1	

Monday, August 10, 2020 9:56:41 AM  
R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\3 DESIGN\2 SCHEMATIC\102 AUTOCAD\1-00-000\_G1.1 CONTEXT DIAGRAM.DWG



# DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA

CONTEXT AND CONNECTIVITY DIAGRAM

G1.2

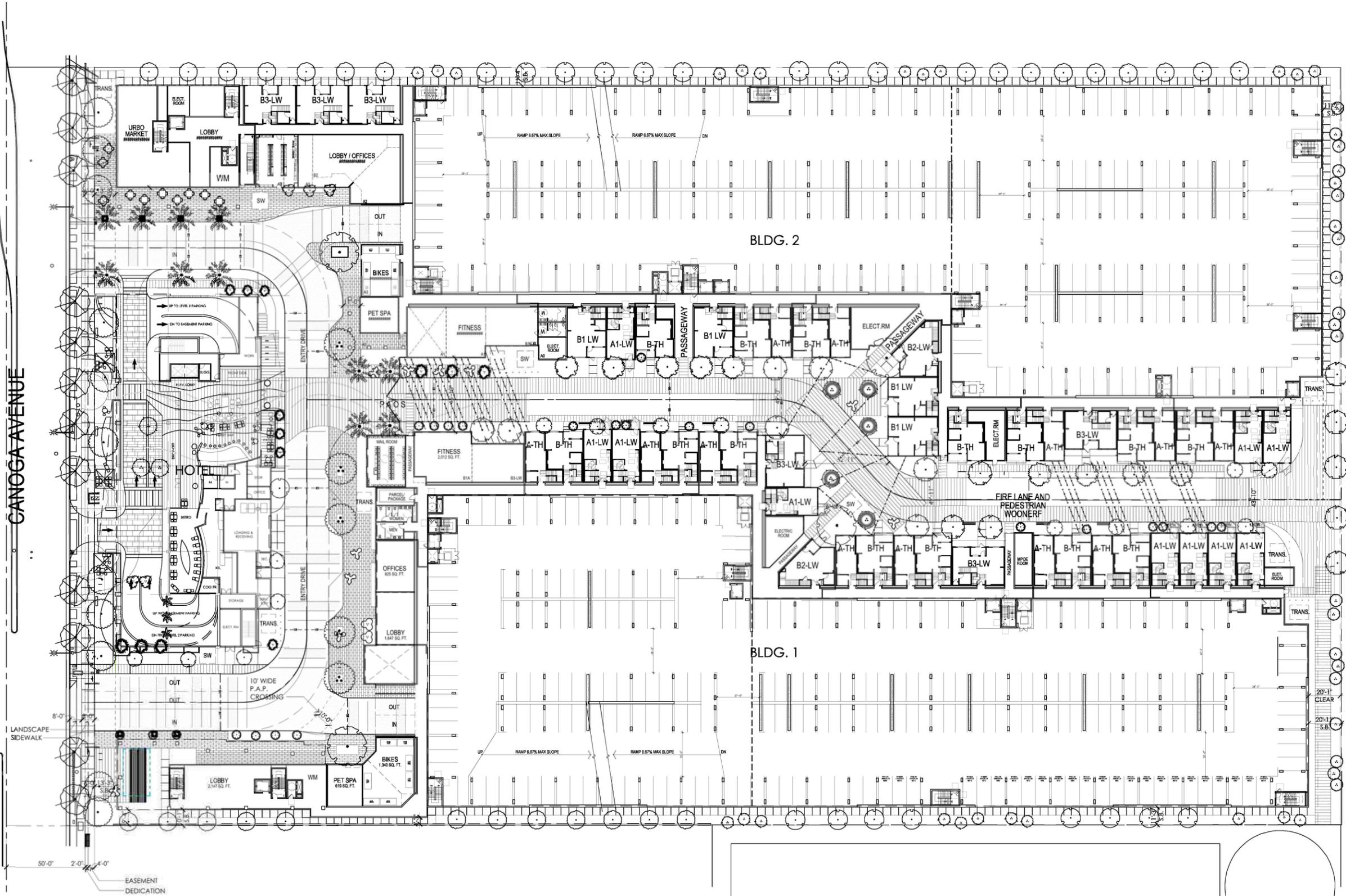


KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08-07  
19-242

Friday, August 14, 2020 2:04:41 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A1.2 SITE PLAN.DWG



### SITE PLAN NOTES

1. THIS ARCHITECTURAL SITE PLAN IS PROVIDED FOR OVERALL SITE REFERENCE. THE LOCATION OF ITEMS INCLUDED IN THIS SET OF PLANS IS FOR AGENCY DEPARTMENT USE ONLY.
2. THIS SITE PLAN IS FOR REFERENCE ONLY. AS AN ARCHITECTURAL PLAN FOR GENERAL LAYOUT AND IDENTIFICATION PURPOSES ONLY FOR LOT LINE DIMENSIONS & HORIZONTAL CONTROL, SEE CIVIL DRAWINGS.
3. FOR HARDSCAPE AND ALL SITE IMPROVEMENTS, SEE LANDSCAPE DRAWINGS.
4. FOR PARKING GARAGE, SEE SEPARATE SUBMITTAL PACKAGE.
5. FOR "FIRE LANE" DESIGN, SEE CIVIL AND LANDSCAPE DRAWINGS.
6. FOR PERIMETER FENCING, SEE LANDSCAPE DRAWINGS.
7. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR SPECIFIC SITE REQUIREMENTS.
8. ALL PROPERTY LINES, EASEMENTS, AND BUILDINGS, EXISTING AND PROPOSED ARE SHOWN ON THIS PLAN BUT MUST BE VERIFIED WITH THE CIVIL PLANS.
9. BUILDING SIGNAGE IS DESIGNED BY OTHERS AND INSTALLED BY THE GENERAL CONTRACTOR.
10. SITE SIGNAGE IS DESIGNED BY OTHERS AND INSTALLED BY THE CONTRACTOR.
11. SITE WALLS ARE DESIGNED BY OTHERS.
12. DECORATIVE SITE LIGHTING IS DESIGNED BY OTHERS.
13. SURFACE WATER MUST DRAIN AWAY FROM BUILDING SEE CIVIL AND LANDSCAPE PLANS FOR DRAINAGE DESIGN.

### GENERAL NOTES

1. SEE SHEETS L.1 - L.6 FOR LANDSCAPE.
2. SEE SHEETS C-1.00 - C-5.00 FOR CIVIL.

### VICINITY MAP



SITE PLAN **A1.2**

## DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242



**MASTERPLAN PHASING DIAGRAM**

THE MASTERPLAN SITE AREA IS 8.80 ACRES AND CONSISTS OF THREE PHASES, IDENTIFIED AS:  
 SITE 1 (BUILDING 1) – 3.87 ACRES  
 SITE 2 (BUILDING 2) – 4.01 ACRES  
 SITE 3 (HOTEL) – 0.92 ACRES

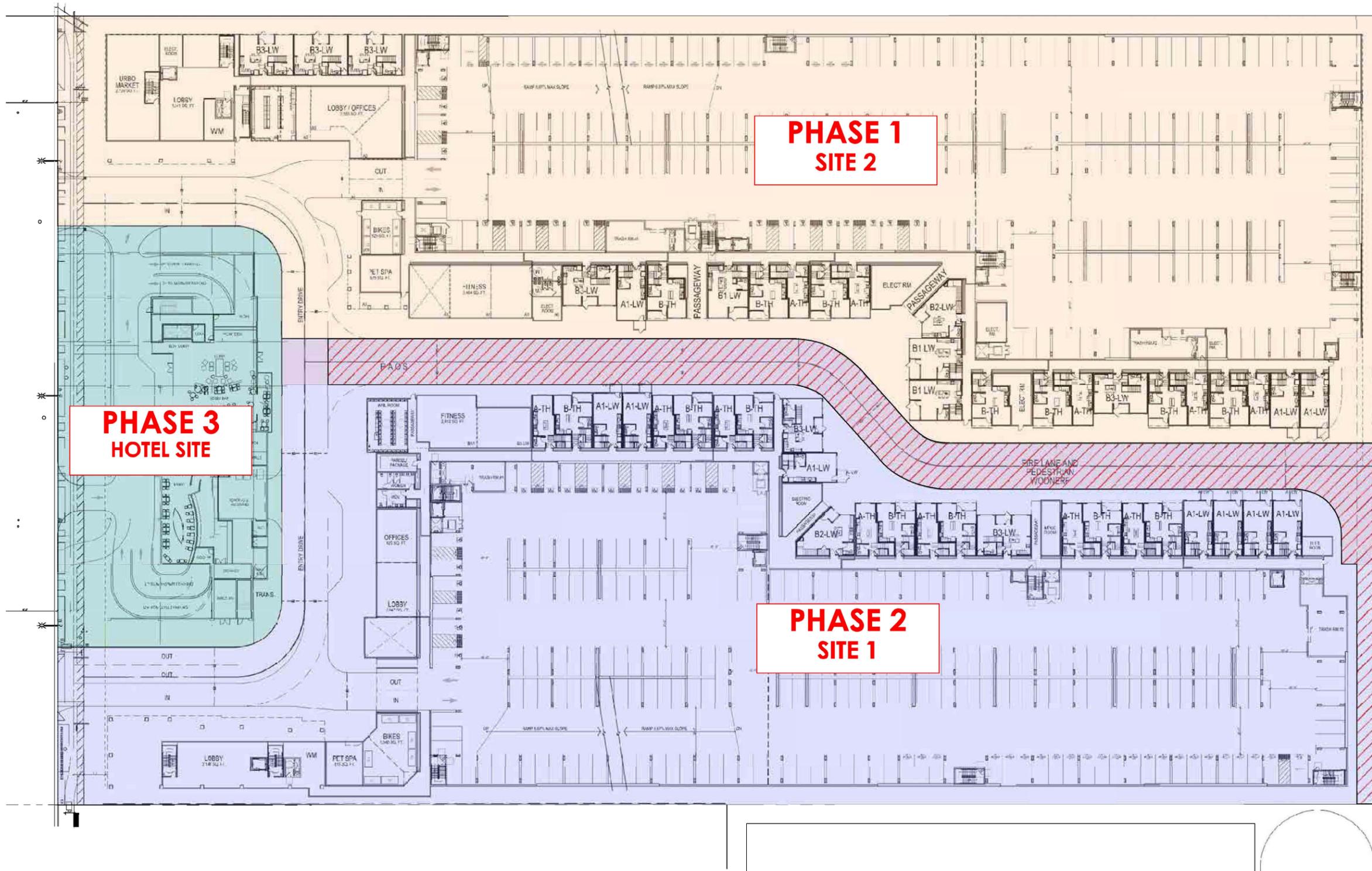
THE PROJECT PHASES ARE AS FOLLOWS:

**PHASE 1**  
 TIMEFRAME: 30 MONTHS  
 SITE PREPARATION, ENTIRE 8.80 ACRE SITE  
 DEMOLITION OF EXISTING BUILDING AND SITE CLEARANCE  
 MASS GRADING TO ESTABLISH SITE PADS  
 ALL REQUIRED SITE WALLS FOR PHASE 2  
 SITE UTILITY INSTALLATION  
**SITE 2 – CONSTRUCTION OF MIXED USE RESIDENTIAL, WORK/LIVE AND COMMERCIAL BUILDING**  
 TOTAL BUILDING AREA – 826,074 SF  
 MID-RISE HEIGHT – 82 FEET  
 HIGH-RISE HEIGHT – 145 FEET

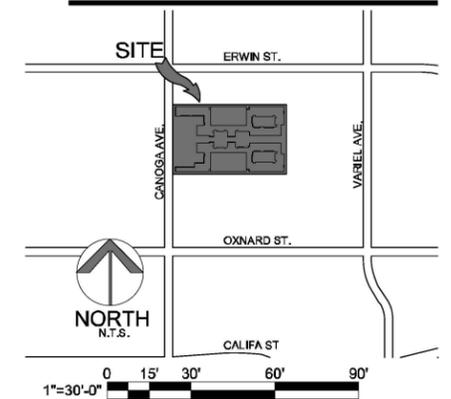
**PHASE 2**  
 TIMEFRAME: 30 MONTHS  
 TO BEGIN 18 MONTHS AFTER COMPLETION OF PHASE 1  
**SITE 1 – MIXED USE RESIDENTIAL, WORK/LIVE BUILDING**  
 TOTAL BUILDING AREA – 784,084 SF  
 MID-RISE HEIGHT – 82 FEET  
 HIGH-RISE HEIGHT – 145 FEET  
 TOTAL CONSTRUCTION TIME FOR PHASE 1 AND PHASE 2 - 48 MONTHS  
 COMPLETION OF SIDEWALK AND SETBACK AREA THAT IS APPROXIMATE TO THIS PHASE BEFORE CERTIFICATE OF COMPLETION

**PHASE 3**  
 TIMEFRAME: 32 MONTHS  
 TO BEGIN INDEPENDENTLY OF PHASE 1 AND 2 SCHEDULE  
**SITE 3 – HOTEL BUILDING WITH SUBTERRANEAN PARKING**  
 TOTAL BUILDING AREA – 175,872 SF  
 HIGH-RISE HEIGHT – 145 FEET

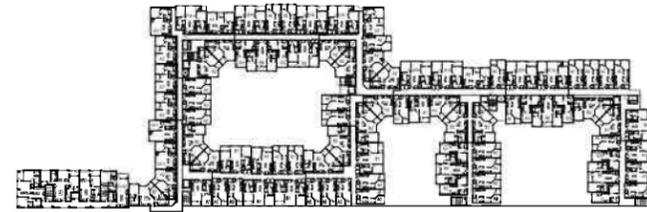
- 1.0 COMPLETE ENTIRE HOTEL IN ONE PHASE
- 2.0 COMPLETE HOTEL SIDEWALK AND SETBACK FRONTAGE



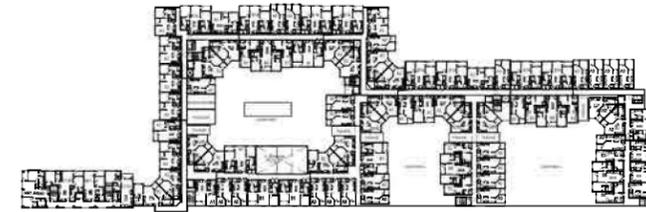
**VICINITY MAP**



Saturday, June 13, 2020 11:02:19 AM  
 R:\2019\2019-242-KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000



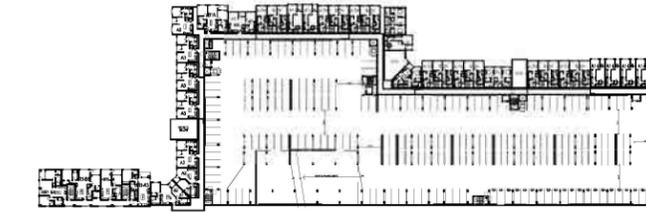
**08** LEVEL 7  
1" = 100'-0"



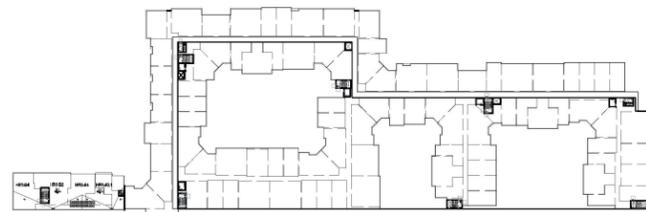
**04** LEVEL 3  
1" = 100'-0"



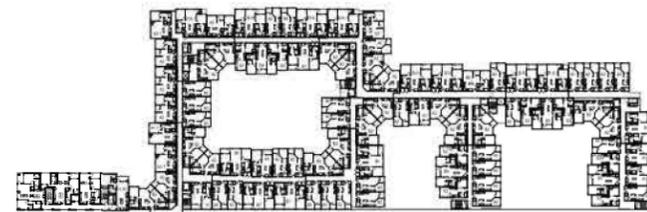
**07** LEVEL 6  
1" = 100'-0"



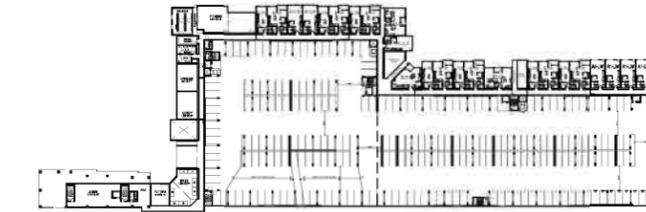
**03** LEVEL 2  
1" = 100'-0"



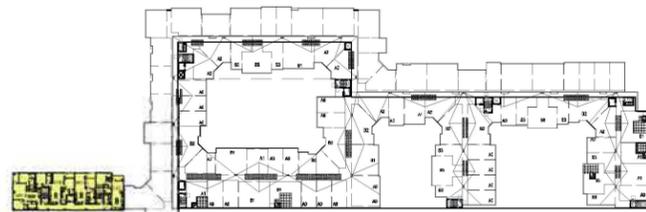
**10** LEVEL 9  
1" = 100'-0"



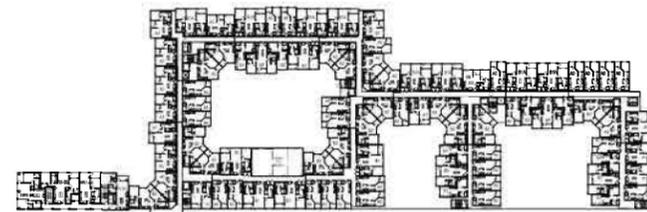
**06** LEVEL 5  
1" = 100'-0"



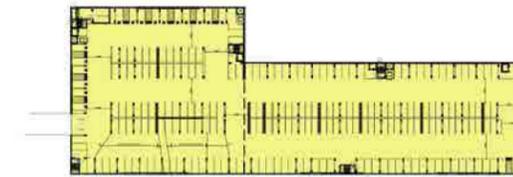
**02** LEVEL 1  
1" = 100'-0"



**09** LEVEL 8  
1" = 100'-0"



**05** LEVEL 4  
1" = 100'-0"



**01** LEVEL 0  
1" = 100'-0"

CALIFORNIA BUILDING CODE (2019)  
SECTION 202 DEFINITIONS:

AREA, BUILDING - The area included within surrounding exterior walls, or exterior walls and fire walls, exclusive of vent shafts and courts. area of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.

LEVEL	AREA
LEVEL 8	5,559 SF
LEVEL 6-7	65,794 SF
LEVEL 5	91,760 SF
LEVEL 4	90,242 SF
LEVEL 3	91,866 SF
LEVEL 2	115,077 SF
LEVEL 1	124,465 SF
LEVEL 0	86,757 SF
TOTAL	737,714 SF

BUILDING 1 - BUILDING CODE AREA PLAN

**A1.5**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA

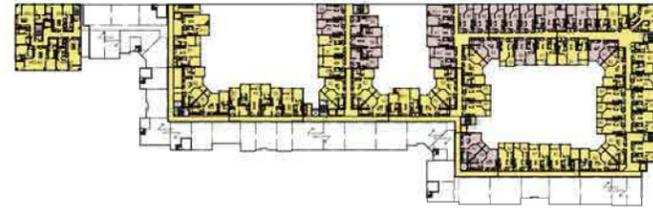


**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

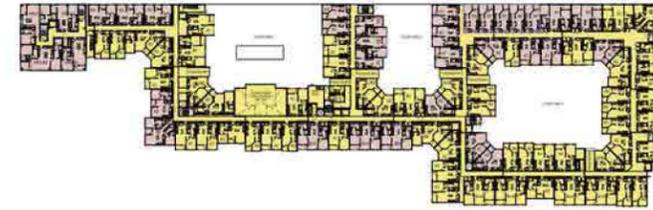


2020-08-07  
19-242

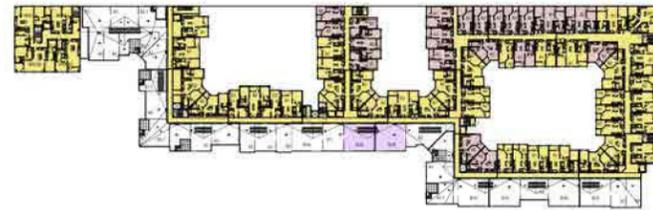
Monday, August 10, 2020 11:04:16 AM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG



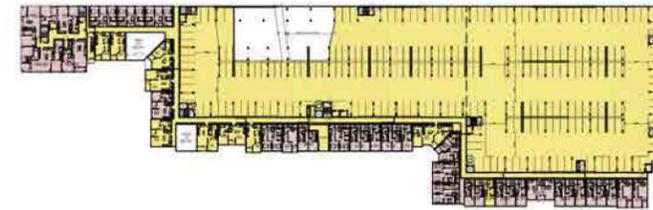
**08** LEVEL 7  
1" = 100'-0"



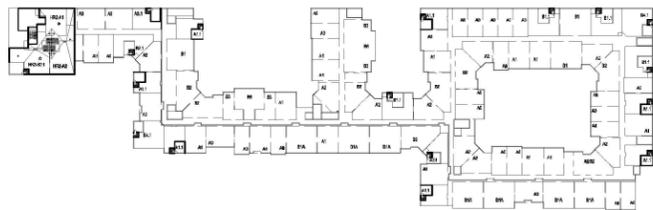
**04** LEVEL 3  
1" = 100'-0"



**07** LEVEL 6  
1" = 100'-0"



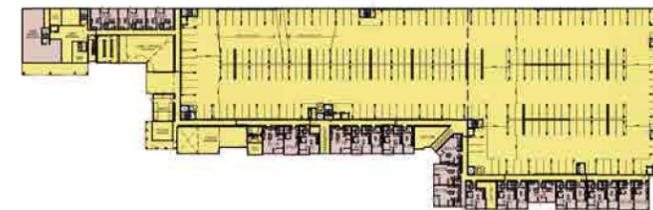
**03** LEVEL 2  
1" = 100'-0"



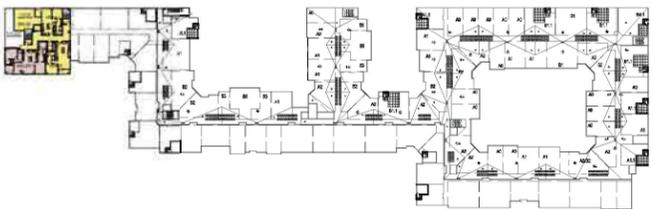
**10** LEVEL 9  
1" = 100'-0"



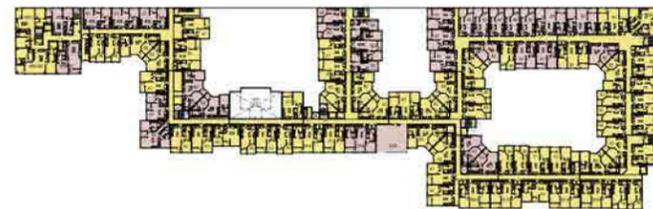
**06** LEVEL 5  
1" = 100'-0"



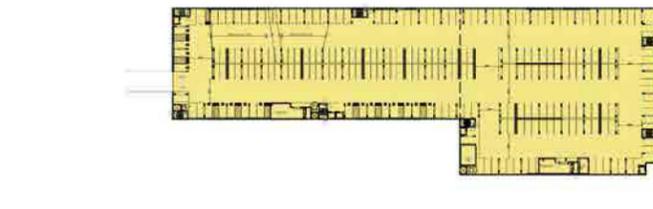
**02** LEVEL 1  
1" = 100'-0"



**09** LEVEL 8  
1" = 100'-0"



**05** LEVEL 4  
1" = 100'-0"



**01** LEVEL 0  
1" = 100'-0"

CALIFORNIA BUILDING CODE (2019)  
SECTION 202 DEFINITIONS:

**AREA, BUILDING** - The area included within surrounding exterior walls, or exterior walls and fire walls, exclusive of vent shafts and courts. Area of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.

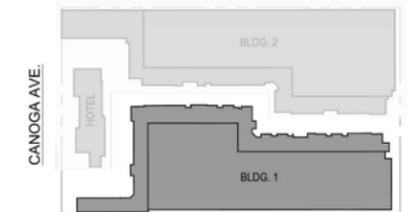
LEVEL	AREA
LEVEL 8	5,054 SF
LEVEL 6-7	66,938 SF
LEVEL 5	96,883 SF
LEVEL 4	94,682 SF
LEVEL 3	97,837 SF
LEVEL 2	121,325 SF
LEVEL 1	131,401 SF
LEVEL 0	91,131 SF
<b>TOTAL</b>	<b>772,188 SF</b>

Monday, August 10, 2020 11:14:00 AM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG

Monday, August 10, 2020 11:27:58 AM  
R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\3 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG



### KEY MAP



LEVEL 0

BUILDING 1 COMPOSITE PLANS

A2.0.5

## DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

Monday, August 10, 2020 11:31:52 AM  
R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG

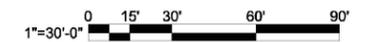
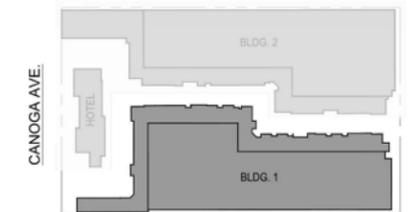


LEVEL 2



LEVEL 1

KEY MAP



BUILDING 1 COMPOSITE PLANS

A2.0

DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08-07  
19-242

Monday, August 10, 2020 11:34:46 AM  
R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG

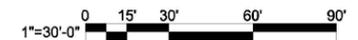
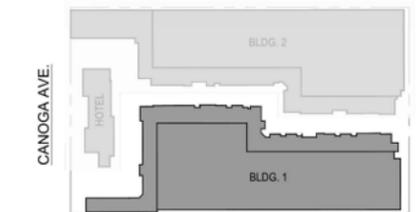


LEVEL 4



LEVEL 3

KEY MAP



BUILDING 1 COMPOSITE PLANS

A2.1

DISTRICT AT WARNER CENTER

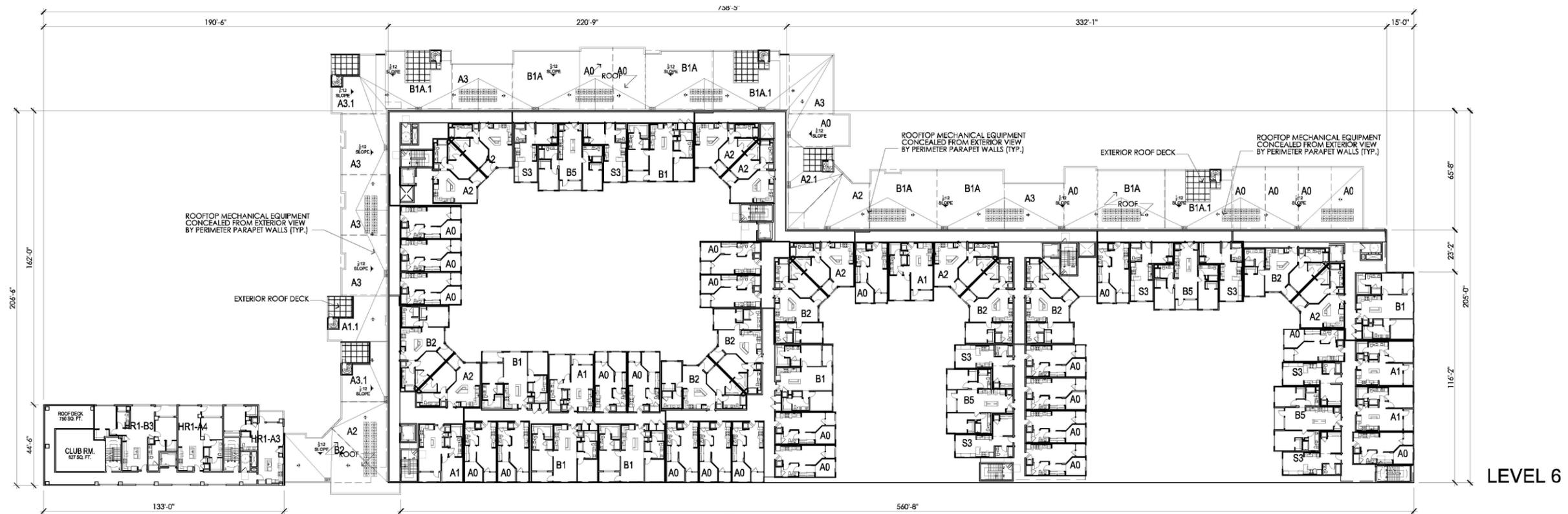
WOODLAND HILLS, CA



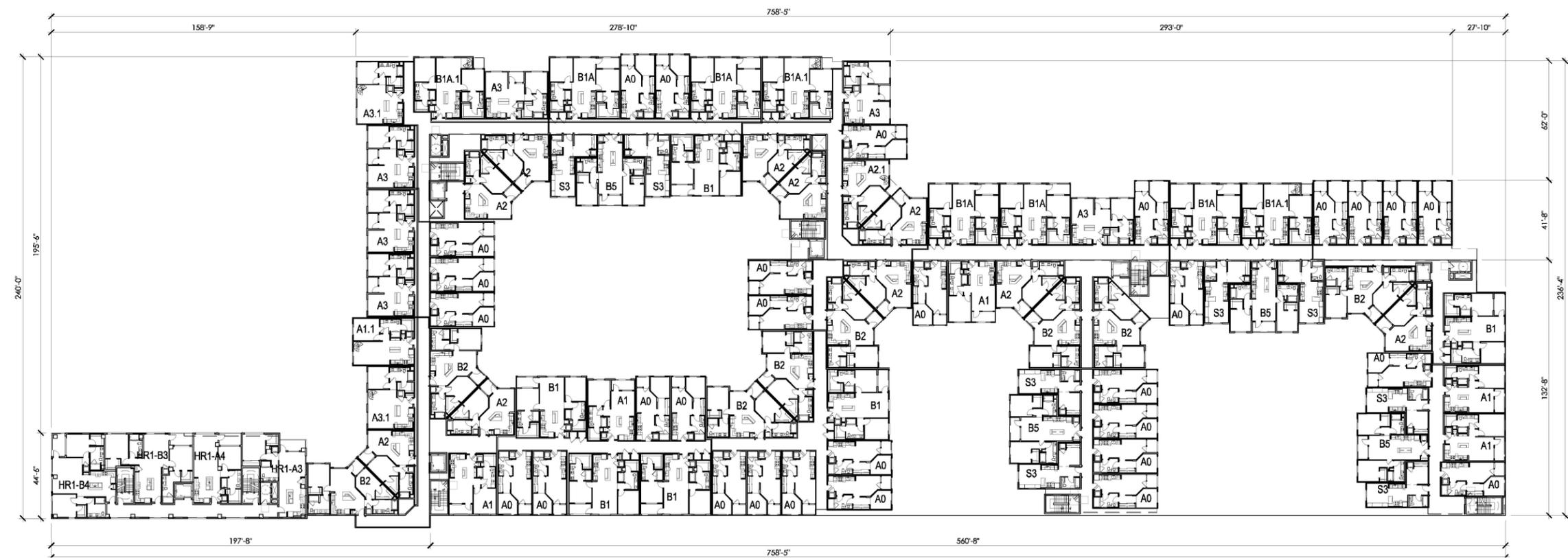
KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08-07  
19-242

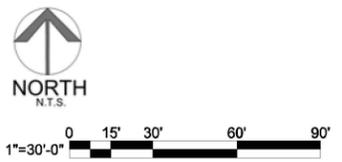
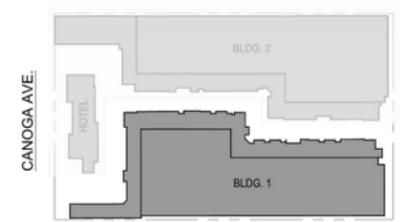


LEVEL 6



LEVEL 5

KEY MAP



BUILDING 1 COMPOSITE PLANS

A2.2

DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

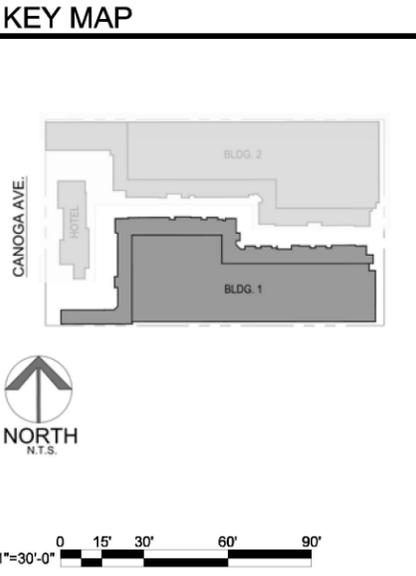
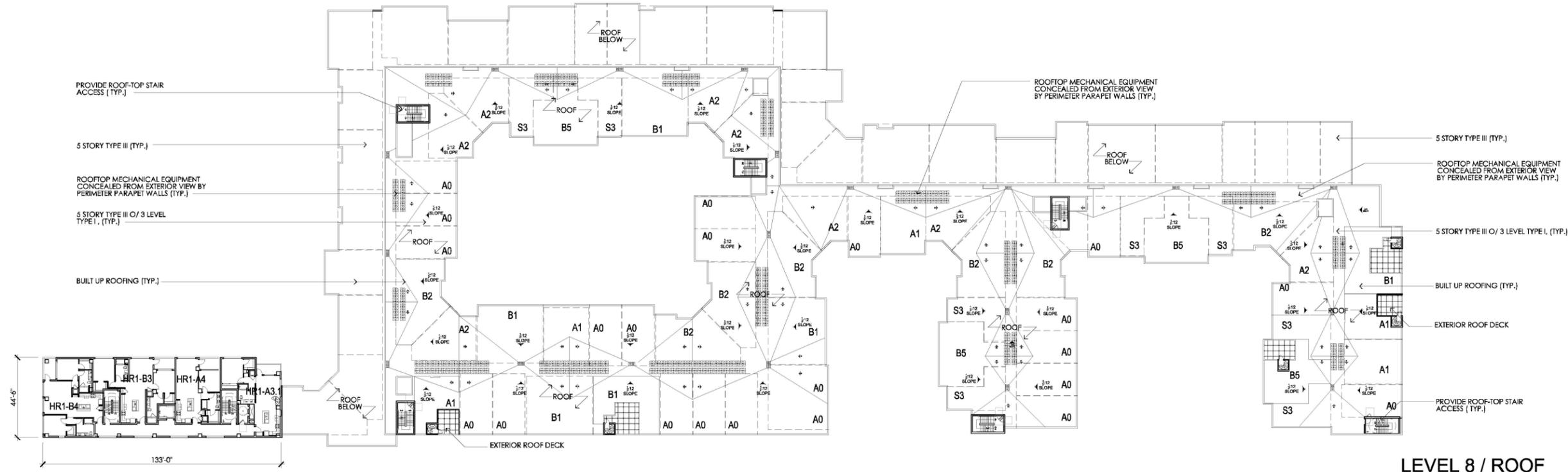
NOTE:  
ROOFING MATERIALS WILL PROVIDE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 85 FOR A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE ROOF SURFACE AREA.

THE PROJECT WILL COMPLY WITH THE SOLAR REQUIREMENTS OF THE 2019 CALIFORNIA ENERGY STANDARDS.



2020-08-07  
19-242

Monday, August 10, 2020 11:37:12 AM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG



BUILDING 1 COMPOSITE PLANS **A2.3**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

NOTE:  
ROOFING MATERIALS WILL PROVIDE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 85 FOR A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE ROOF SURFACE AREA.

THE PROJECT WILL COMPLY WITH THE SOLAR REQUIREMENTS OF THE 2019 CALIFORNIA ENERGY STANDARDS.



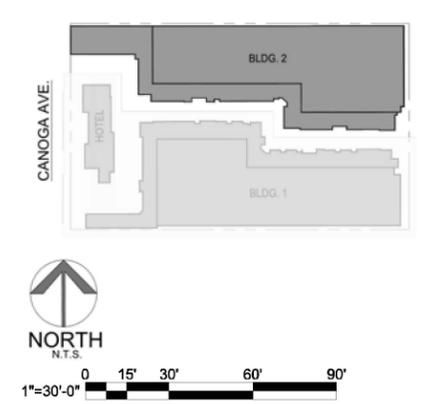
2020-08.07  
19-242

Monday, August 10, 2020 12:49:03 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG

Monday, August 10, 2020 12:37:34 PM  
R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG



**KEY MAP**



LEVEL 0

BUILDING 2 COMPOSITE PLAN **A2.4.5**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA

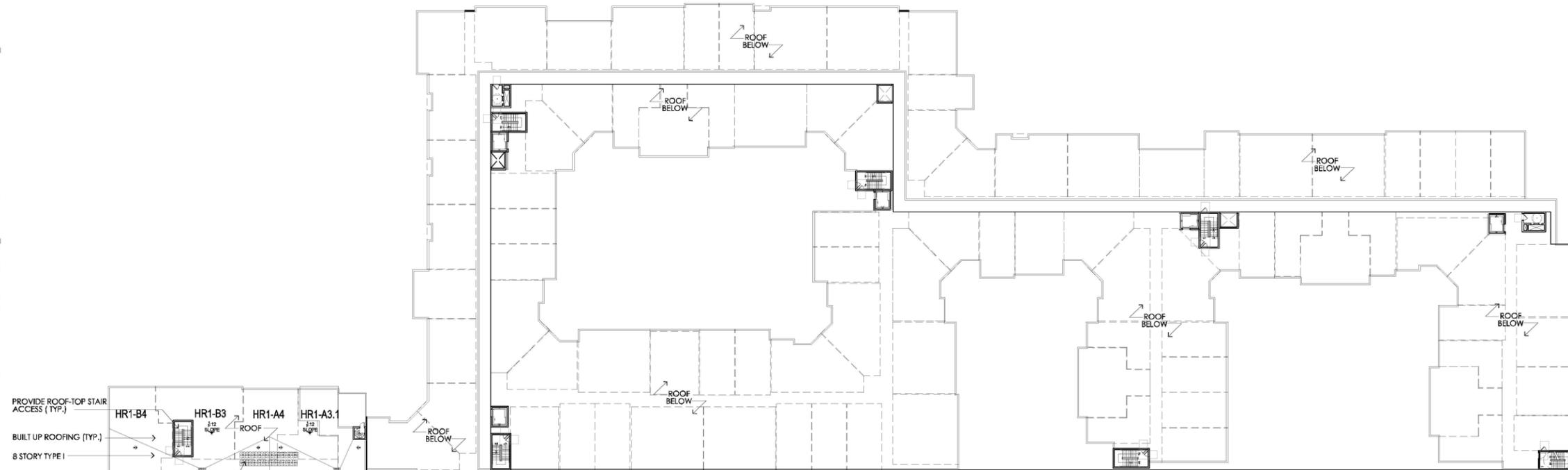


**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

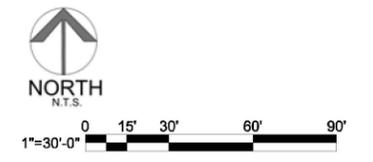
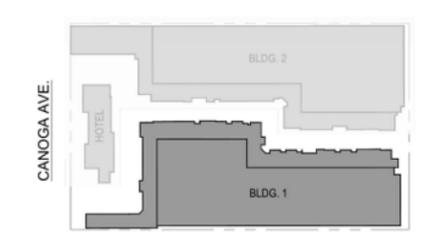
Monday, August 10, 2020 12:55:13 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG



PROVIDE ROOF-TOP STAIR ACCESS (TYP.)  
BUILT UP ROOFING (TYP.)  
8 STORY TYPE I

ROOFTOP MECHANICAL EQUIPMENT CONCEALED FROM EXTERIOR VIEW BY PERIMETER PARAPET WALLS (TYP.)

### KEY MAP



ROOF

BUILDING 1 COMPOSITE PLAN

# A2.4

## DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

NOTE:  
ROOFING MATERIALS WILL PROVIDE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 85 FOR A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE ROOF SURFACE AREA.  
  
THE PROJECT WILL COMPLY WITH THE SOLAR REQUIREMENTS OF THE 2019 CALIFORNIA ENERGY STANDARDS.

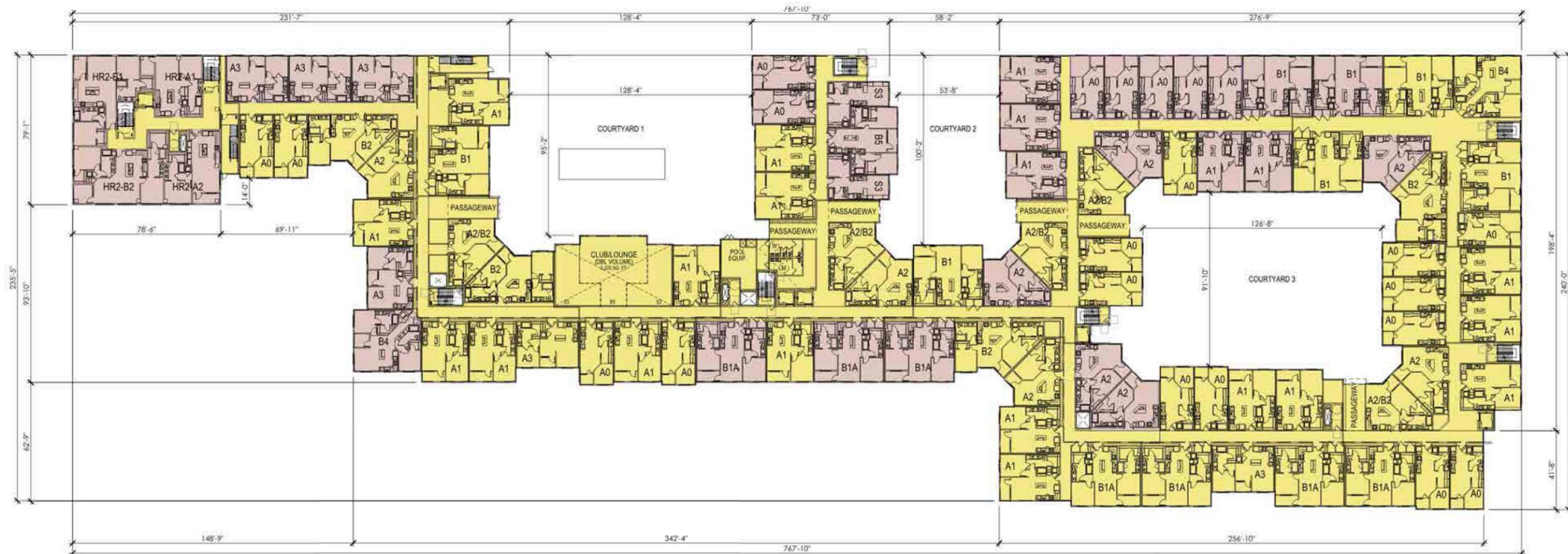


2020-08.07  
19-242



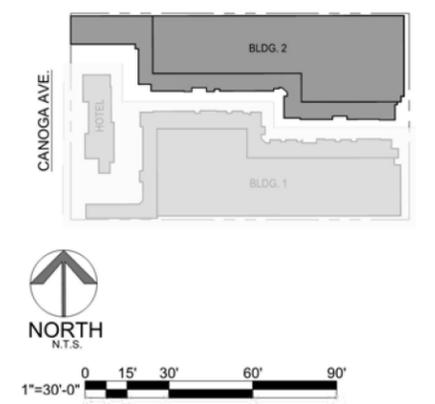


LEVEL 4



LEVEL 3

KEY MAP



BUILDING 2 COMPOSITE PLANS

A2.6

DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08-07  
19-242

Monday, August 10, 2020 1:06:43 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS\_C\_RECOVER.DWG

Monday, August 10, 2020 11:12:16 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG

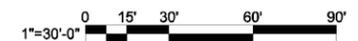
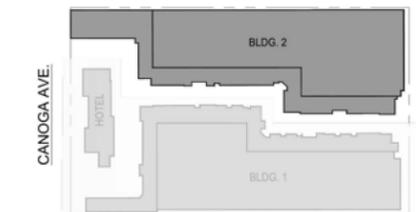


LEVEL 6



LEVEL 5

KEY MAP



BUILDING 2 COMPOSITE PLANS

A2.7

DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



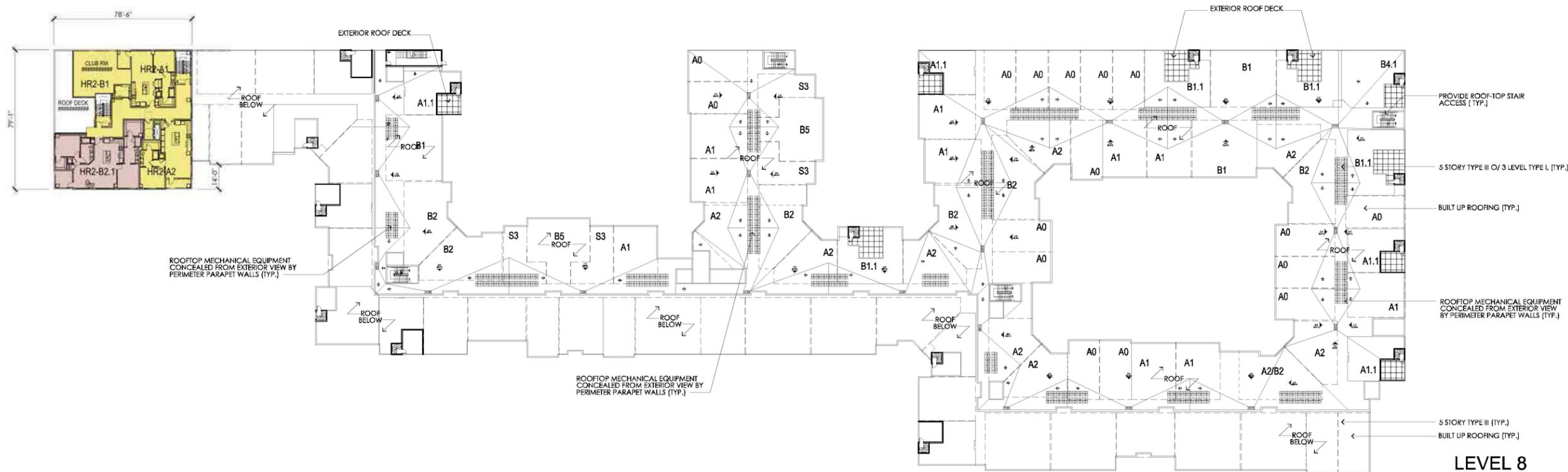
KAPLAN COMPANIES  
 777 POST OAK BOULEVARD  
 SUITE 850  
 HOUSTON, TEXAS 77056

NOTE:  
 ROOFING MATERIALS WILL PROVIDE A SOLAR REFLECTANCE INDEX  
 EQUAL TO OR GREATER THAN 85 FOR A MINIMUM OF SEVENTY-FIVE  
 PERCENT (75%) OF THE ROOF SURFACE AREA.

THE PROJECT WILL COMPLY WITH THE SOLAR REQUIREMENTS OF THE  
 2019 CALIFORNIA ENERGY STANDARDS.



2020-08.07  
 19-242



LEVEL 8



LEVEL 7

BUILDING 2 COMPOSITE PLANS

A2.8

KEY MAP



DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

NOTE:  
ROOFING MATERIALS WILL PROVIDE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 85 FOR A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE ROOF SURFACE AREA.

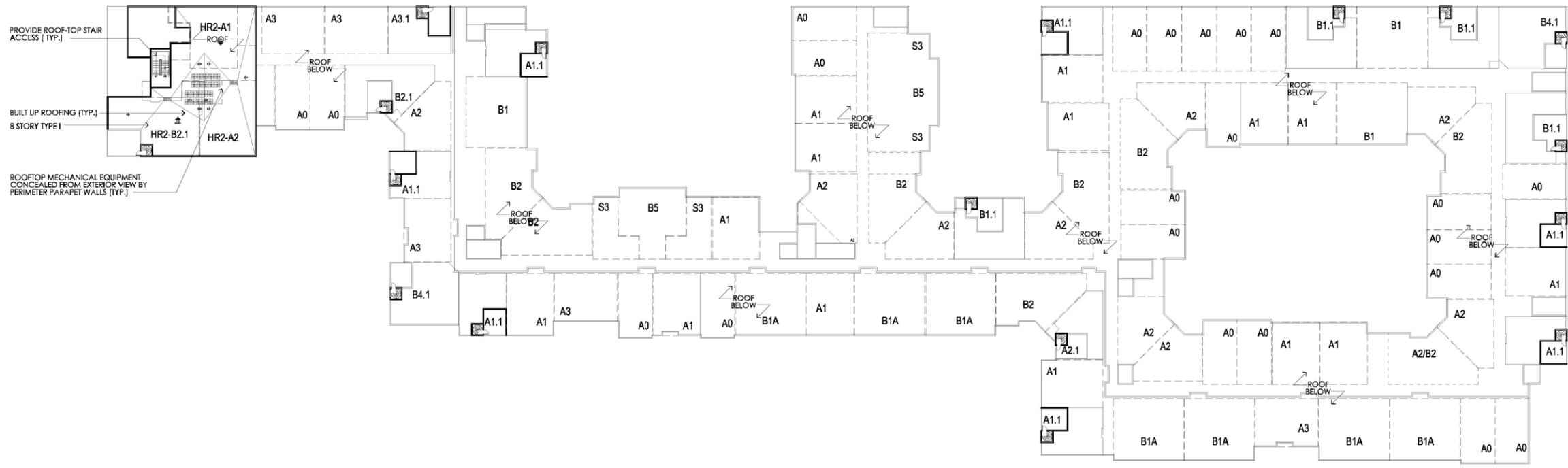
THE PROJECT WILL COMPLY WITH THE SOLAR REQUIREMENTS OF THE 2019 CALIFORNIA ENERGY STANDARDS.



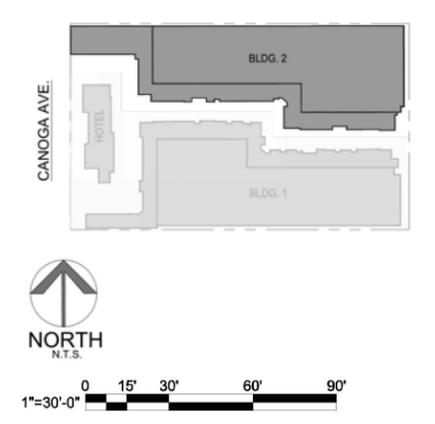
2020-08.07  
19-242

Monday, August 10, 2020 1:17:05 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG

Monday, August 10, 2020 2:01:19 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\00-000\_A2.0 - A2.8 BUILDING COMPOSITE PLANS C\_RECOVER.DWG



**KEY MAP**



ROOF

BUILDING 2 COMPOSITE PLAN

**A2.9**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

NOTE:  
ROOFING MATERIALS WILL PROVIDE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 85 FOR A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE ROOF SURFACE AREA.  
  
THE PROJECT WILL COMPLY WITH THE SOLAR REQUIREMENTS OF THE 2019 CALIFORNIA ENERGY STANDARDS.

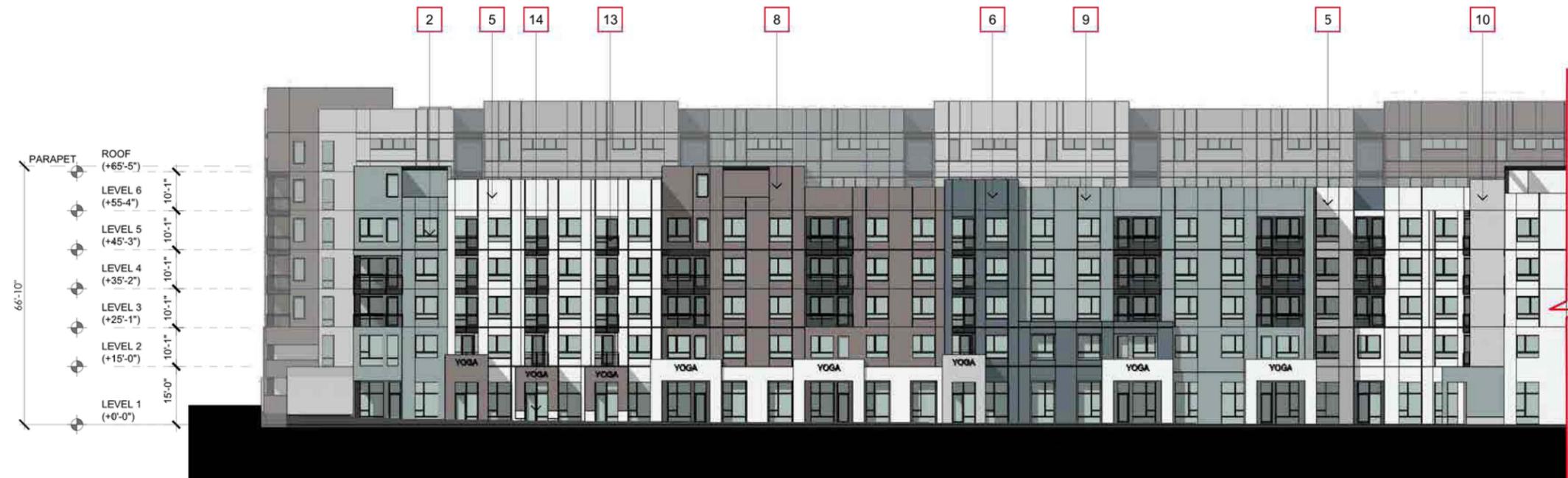


2020-08-07  
19-242

**MATERIAL / COLOR LEGEND**

- 1 GLASS RAILING - CLEAR GLASS
- 2 VINYL WINDOWS - MEDIUM BRONZE
- 3 SAND FINISH STUCCO - SW 6904 GUSTO GOLD
- 4 METAL SUN SHADE - SW 6258 TRICORM BLACK
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 2839 BLUE HILL
- 7 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SDB3
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 6221 MODDY BLUE
- 10 SAND FINISH STUCCO - SW 7548 BIG CHILL
- 11 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 12 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 6885 AFTER THE STORM ; PANEL - SW 6904 GUSTO  
GOLD
- 13 METAL RAILING - SW 6258 TRICORM BLACK
- 14 ALUMINUM STOREFRONT - SW 6258 TRICORM BLACK

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY

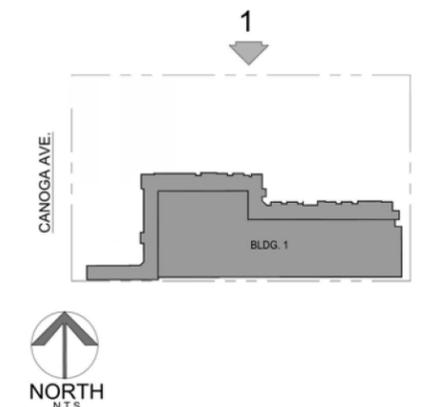


NORTH ELEVATION - PARTIAL 1 1/16"=1'-0" 0 8' 16' 32' 48'



1"=30'-0" 0 15' 30' 60' 90' NORTH ELEVATION 1

**KEY MAP**



CONCEPTUAL NORTH BUILDING 1 ELEVATION

**A2.10**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



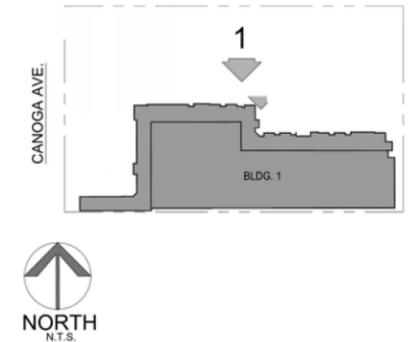
KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242



KEY MAP



1"=30'-0" 0 15' 30' 60' 90'

CONCEPTUAL NORTH BUILDING 1 ELEVATION

A2.11

DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

Friday, August 07, 2020 12:42:03 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\19-242\_A2.9 -BUILDING 1 ELEVATIONS.DWG

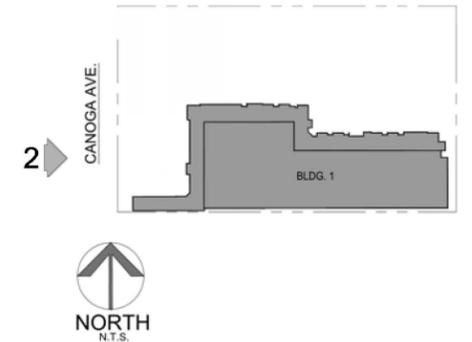


**MATERIAL / COLOR LEGEND**

- 1 GLASS RAILING - CLEAR GLASS
- 2 VINYL WINDOWS - MEDIUM BRONZE
- 3 SAND FINISH STUCCO - SW 6904 GUSTO GOLD
- 4 METAL SUN SHADE - SW 6258 TRICORM BLACK
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 2839 BLUE HILL
- 7 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SDB3
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 6221 MODDY BLUE
- 10 SAND FINISH STUCCO - SW 7548 BIG CHILL
- 11 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 12 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME- SW 6885 AFTER THE STORM ;PANEL - SW 6904 GUSTO GOLD
- 13 METAL RAILING - SW 6258 TRICORM BLACK
- 14 ALUMINUM STOREFRONT - SW 6258 TRICORM BLACK

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY

**KEY MAP**



CONCEPTUAL WEST BUILDING 1 ELEVATION

**A2.12**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08-07  
19-242



SOUTH ELEVATION - PARTIAL 3

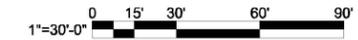


**MATERIAL / COLOR LEGEND**

- 1 GLASS RAILING - CLEAR GLASS
- 2 VINYL WINDOWS - MEDIUM BRONZE
- 3 SAND FINISH STUCCO - SW 6904 GUSTO GOLD
- 4 METAL SUN SHADE - SW 6258 TRICORM BLACK
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 2839 BLUE HILL
- 7 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SDB3
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 6221 MODDY BLUE
- 10 SAND FINISH STUCCO - SW 7548 BIG CHILL
- 11 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 12 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 6885 AFTER THE STORM ; PANEL - SW 6904 GUSTO GOLD
- 13 METAL RAILING - SW 6258 TRICORM BLACK
- 14 ALUMINUM STOREFRONT - SW 6258 TRICORM BLACK

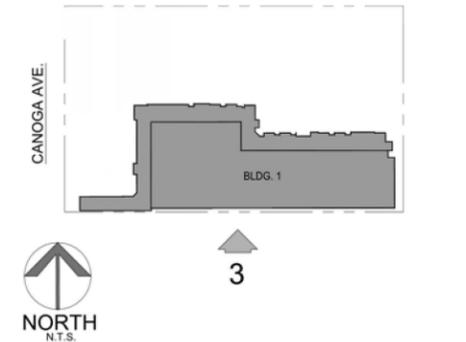
\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY

Friday, August 07, 2020 12:43:14 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\19-242\_A2.9 -BUILDING 1 ELEVATIONS.DWG



SOUTH ELEVATION 3

**KEY MAP**



CONCEPTUAL SOUTH BUILDING 1 ELEVATION

**A2.13**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

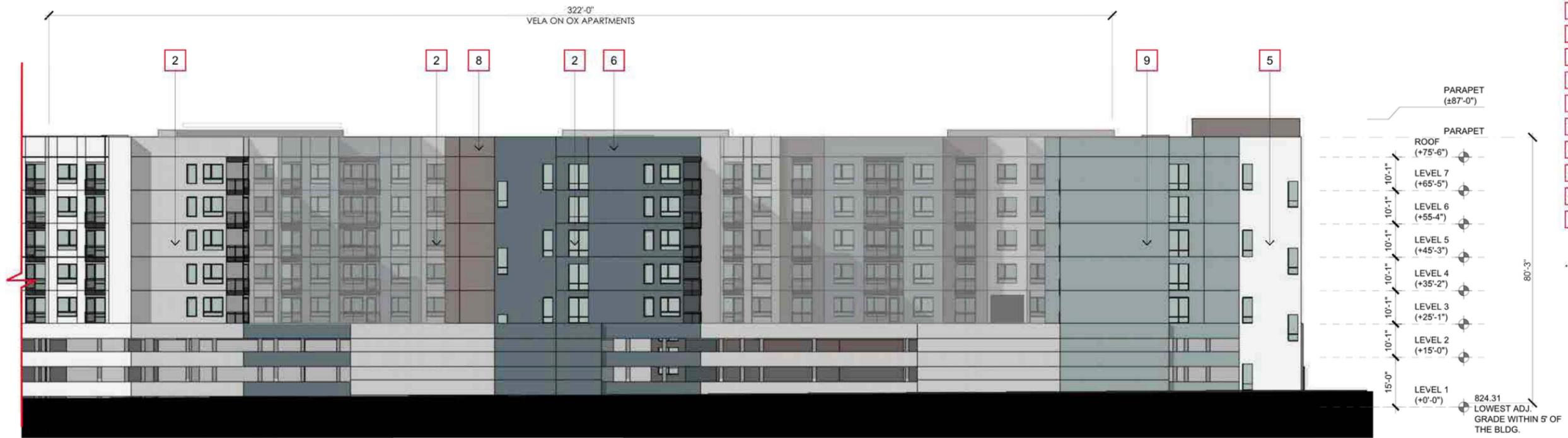


2020-08-07  
19-242

**MATERIAL / COLOR LEGEND**

- 1 GLASS RAILING - CLEAR GLASS
- 2 VINYL WINDOWS - MEDIUM BRONZE
- 3 SAND FINISH STUCCO - SW 6904 GUSTO GOLD
- 4 METAL SUN SHADE - SW 6258 TRICORM BLACK
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 2839 BLUE HILL
- 7 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SDB3
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 6221 MODDY BLUE
- 10 SAND FINISH STUCCO - SW 7548 BIG CHILL
- 11 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 12 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 9685 AFTER THE STORM ;PANEL - SW 6904 GUSTO  
GOLD
- 13 METAL RAILING - SW 6258 TRICORM BLACK
- 14 ALUMINUM STOREFRONT - SW 6258 TRICORM BLACK

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY

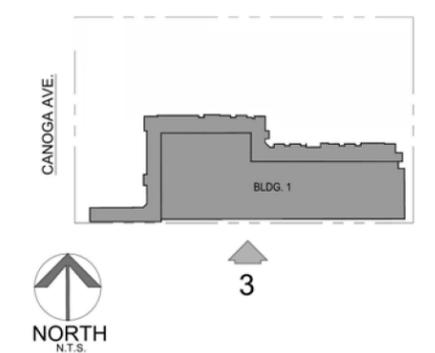


SOUTH ELEVATION - PARTIAL 3 1/16"=1'-0" 0 8' 16' 32' 48'



1"=30'-0" 0 15' 30' 60' 90' SOUTH ELEVATION 3

**KEY MAP**



CONCEPTUAL SOUTH BUILDING 1 ELEVATION **A2.14**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



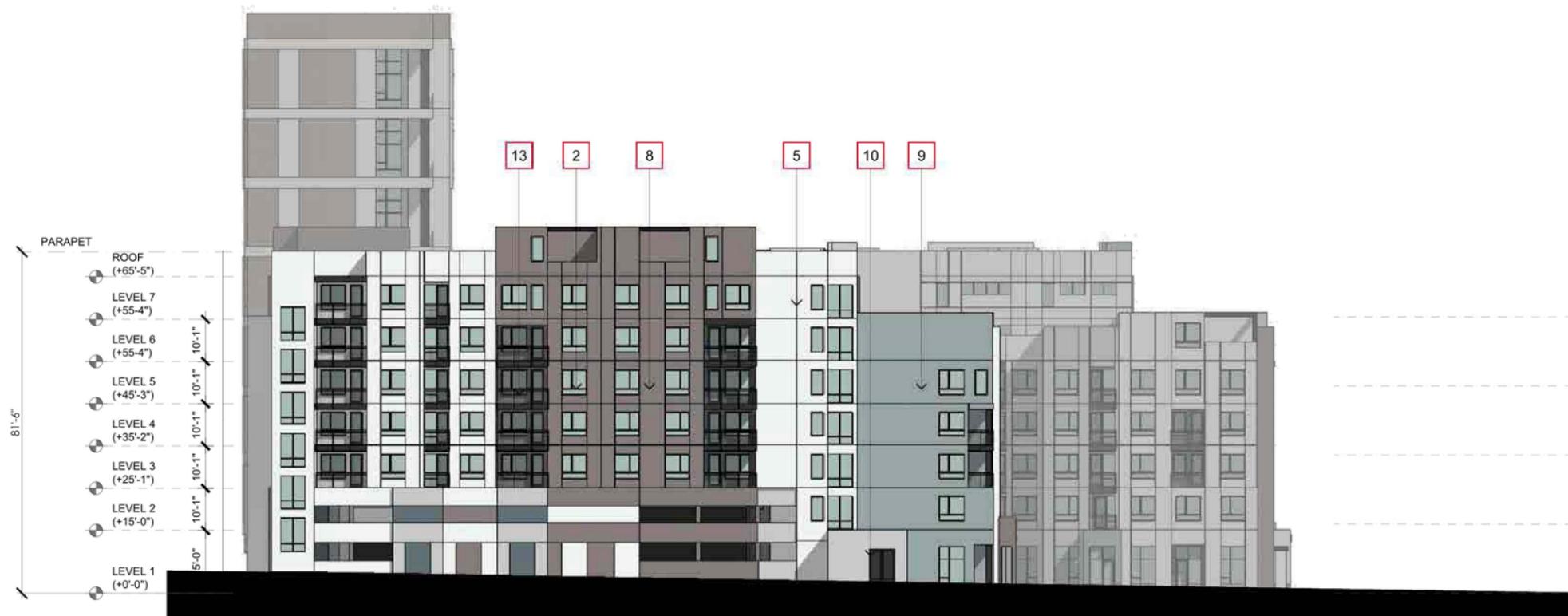
2020-08-07  
19-242

Friday, August 07, 2020 1:00:44 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\19-242\_A2.9 -BUILDING 1 ELEVATIONS.DWG

## MATERIAL / COLOR LEGEND

- 1 GLASS RAILING - CLEAR GLASS
- 2 VINYL WINDOWS - MEDIUM BRONZE
- 3 SAND FINISH STUCCO - SW 6904 GUSTO GOLD
- 4 METAL SUN SHADE - SW 6258 TRICORM BLACK
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 2839 BLUE HILL
- 7 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SD83
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 6221 MODDY BLUE
- 10 SAND FINISH STUCCO - SW 7548 BIG CHILL
- 11 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 12 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME- SW 6885 AFTER THE STORM ;PANEL - SW 6904 GUSTO  
GOLD
- 13 METAL RAILING - SW 6258 TRICORM BLACK
- 14 ALUMINUM STOREFRONT - SW 6258 TRICORM BLACK

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY

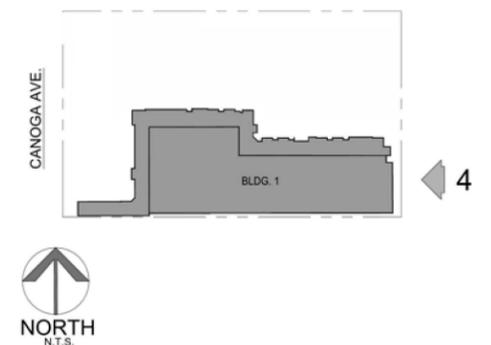


EAST ELEVATION 4 1/16"=1'-0"



EAST ELEVATION 4 1"=30'-0"

## KEY MAP



CONCEPTUAL EAST BUILDING 1 ELEVATION

**A2.15**

# DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

**MATERIAL / COLOR LEGEND**

- 1 METAL RAILING - SW 6258 TRICORM BLACK
- 2 VINYL WINDOWS - PUTTY BEIGE
- 3 METAL AWNING - SW 6904 GUSTO GOLD
- 4 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 9685 AFTER THE STORM ; PANEL - SW 6904 GUSTO GOLD
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 7648 BIG CHILL
- 7 SAND FINISH STUCCO - SW 7548 PORTICO
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 10 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SD83

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY



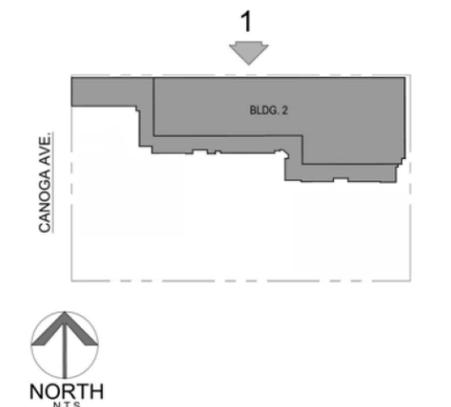
NORTH ELEVATION - PARTIAL 1 1/16"=1'-0"



1"=30'-0" NORTH ELEVATION 1

CONCEPTUAL NORTH BUILDING 2 ELEVATION

**KEY MAP**



**A2.16**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

**MATERIAL / COLOR LEGEND**

- 1 METAL RAILING - SW 6258 TRICORM BLACK
- 2 VINYL WINDOWS - PUTTY BEIGE
- 3 METAL AWNING - SW 6904 GUSTO GOLD
- 4 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 9685 AFTER THE STORM, PANEL - SW 6904 GUSTO GOLD
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 7648 BIG CHILL
- 7 SAND FINISH STUCCO - SW 7548 PORTICO
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 10 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SD83

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY



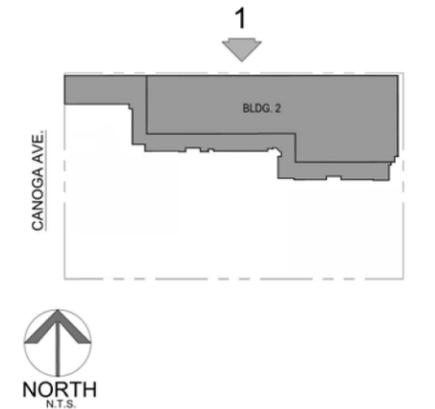
NORTH ELEVATION - PARTIAL 1



1"=30'-0" NORTH ELEVATION 1

CONCEPTUAL NORTH BUILDING 2 ELEVATION

**KEY MAP**



**A2.17**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

Friday, August 07, 2020 1:04:21 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\19-242\_A2.9 -BUILDING 2 ELEVATIONS.DWG

Friday, August 07, 2020 1:05:22 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\19-242\_A2.9 - BUILDING 2 ELEVATIONS.DWG



WEST ELEVATION 2 1/16"=1'-0"

**MATERIAL / COLOR LEGEND**

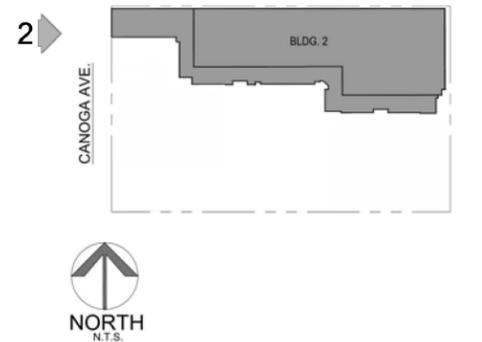
- 1 METAL RAILING - SW 6258 TRICORM BLACK
- 2 VINYL WINDOWS - PUTTY BEIGE
- 3 METAL AWNING - SW 6904 GUSTO GOLD
- 4 PAINTED STEEL TRESSIS WITH PERFORATED PANELS  
FRAME - SW 9685 AFTER THE STORM ; PANEL - SW 6904 GUSTO GOLD
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 7648 BIG CHILL
- 7 SAND FINISH STUCCO - SW 7548 PORTICO
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 10 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SD83

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY



WEST ELEVATION 2 1"=30'-0"

**KEY MAP**



CONCEPTUAL WEST BUILDING 2 ELEVATION **A2.18**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

**MATERIAL / COLOR LEGEND**

- 1 METAL RAILING - SW 6258 TRICORM BLACK
- 2 VINYL WINDOWS - PUTTY BEIGE
- 3 METAL AWNING - SW 6904 GUSTO GOLD
- 4 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 9685 AFTER THE STORM ; PANEL - SW 6904 GUSTO GOLD
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 7648 BIG CHILL
- 7 SAND FINISH STUCCO - SW 7548 PORTICO
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 10 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SD63

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY



SOUTH ELEVATION - PARTIAL 3

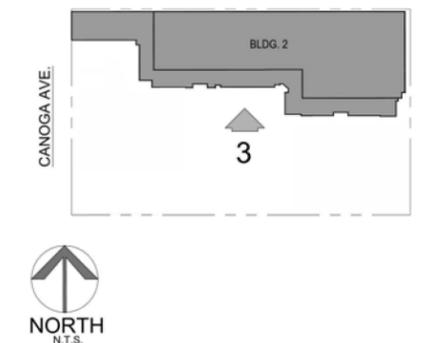
1/16"=1'-0"



1"=30'-0"

SOUTH ELEVATION 3

**KEY MAP**



CONCEPTUAL SOUTH BUILDING 2 ELEVATION

**A2.19**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

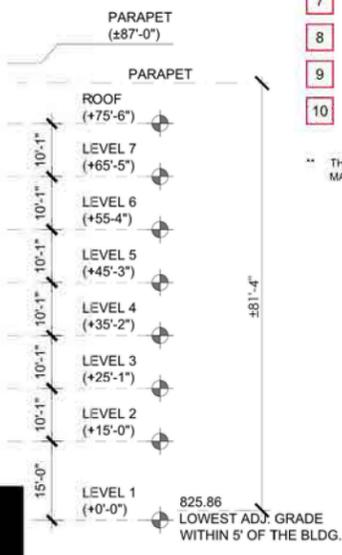


2020-08.07  
19-242

**MATERIAL / COLOR LEGEND**

- 1 METAL RAILING - SW 6258 TRICORM BLACK
- 2 VINYL WINDOWS - PUTTY BEIGE
- 3 METAL AWNING - SW 6904 GUSTO GOLD
- 4 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 9685 AFTER THE STORM ; PANEL - SW 6904 GUSTO GOLD
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 7648 BIG CHILL
- 7 SAND FINISH STUCCO - SW 7548 PORTICO
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 10 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SD83

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY

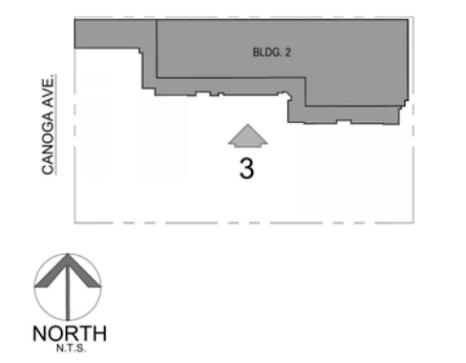


SOUTH ELEVATION - PARTIAL 3 1/16"=1'-0" 0 8' 16' 32' 48'



1"=30'-0" 0 15' 30' 60' 90' SOUTH ELEVATION 3

**KEY MAP**



CONCEPTUAL SOUTH BUILDING 2 ELEVATION **A2.20**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

Friday, August 07, 2020 1:07:05 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\19-242\_A2.9 -BUILDING 2 ELEVATIONS.DWG

**MATERIAL / COLOR LEGEND**

- 1 METAL RAILING - SW 6258 TRICORM BLACK
- 2 VINYL WINDOWS - PUTTY BEIGE
- 3 METAL AWNING - SW 6904 GUSTO GOLD
- 4 PAINTED STEEL TRELLIS WITH PERFORATED PANELS  
FRAME - SW 9685 AFTER THE STORM ; PANEL - SW 6904 GUSTO GOLD
- 5 SAND FINISH STUCCO - SW 7008 ALABASTER
- 6 SAND FINISH STUCCO - SW 7648 BIG CHILL
- 7 SAND FINISH STUCCO - SW 7548 PORTICO
- 8 SAND FINISH STUCCO - SW 9554 GOING GREY
- 9 SAND FINISH STUCCO - SW 7564 POLAR BEAR
- 10 PORCELAIN TILE - DAL TILE, PLANK - OAK TRAIL XT SD83

\*\* THE SIGNAGE SHOWN IS CONCEPTUAL AND THERE WILL BE A MASTER SIGN PROGRAM SUBMITTED SEPARATELY

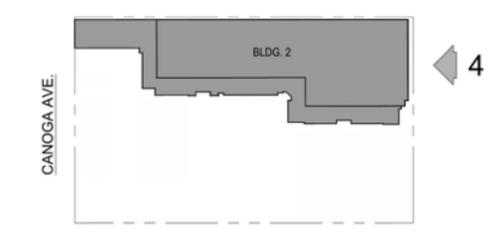


EAST ELEVATION 4 1:16"=1'-0"



EAST ELEVATION 4 1"=30'-0"

**KEY MAP**



CONCEPTUAL EAST BUILDING 2 ELEVATION **A2.21**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



2020-08.07  
19-242

Friday, August 07, 2020 1:07:38 PM R:\2019\2019-242 KAPLAN CANOGA MIXED USE LOS ANGELES\03 DESIGN\02 SCHEMATIC\02 AUTOCAD\19-242\_A2.9 -BUILDING 2 ELEVATIONS.DWG



# DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056



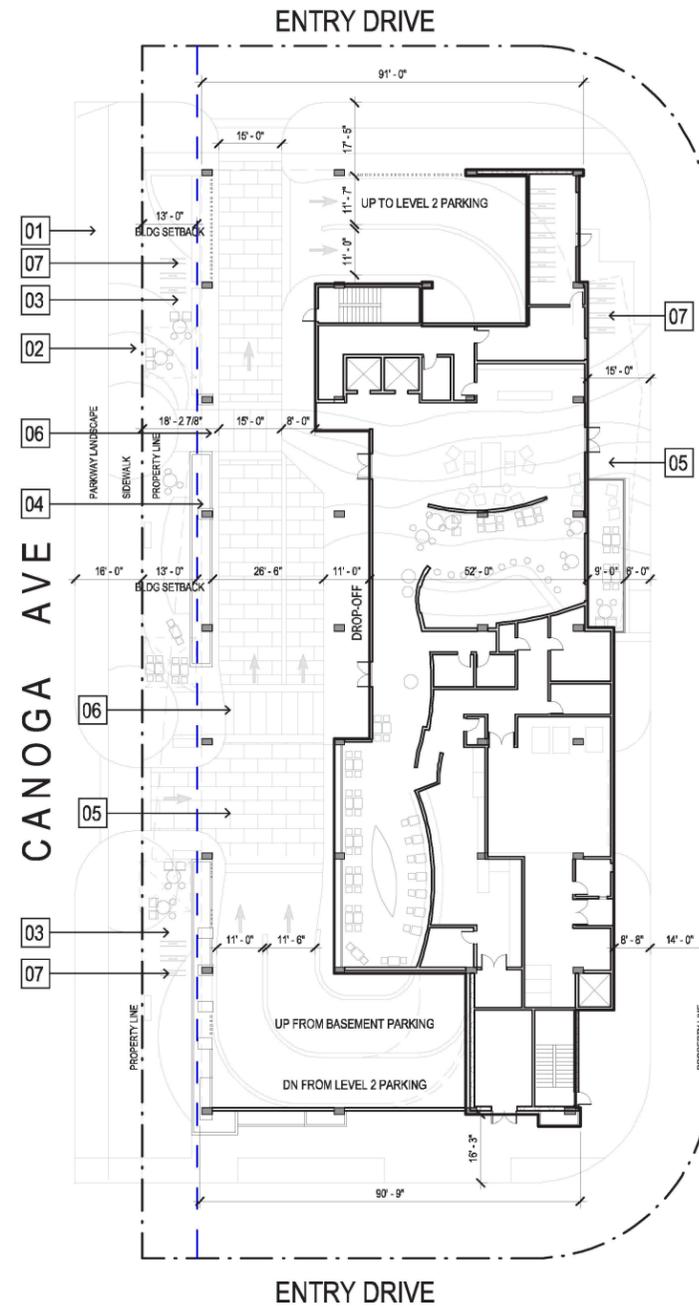
A-5.0  
2020-08.07  
19-242

**GENERAL NOTES**

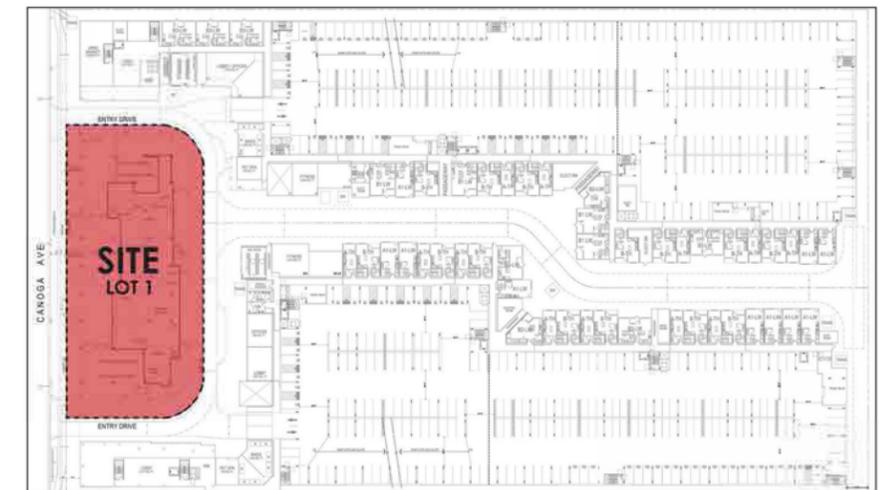
1. THIS DRAWING, AREA DELINEATION AND SUMMARIES, HARDSCAPE / LANDSCAPE AREAS ARE PRELIMINARY AND SUBJECT TO ADJUSTMENT.
2. ANY PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF CLIENT AND GOVERNMENTAL AGENCIES.
3. ALL DIMENSIONS AND SITE CONDITIONS ARE SUBJECT TO VERIFICATION.
4. THIS SITE PLAN IS FOR REFERENCE ONLY, AS AN ARCHITECTURAL PLAN FOR GENERAL LAYOUT AND IDENTIFICATION PURPOSED ONLY.
5. FOR LOT LINE DIMENSIONS & HORIZONTAL CONTROL, SEE CIVIL DRAWINGS.
6. SEE CIVIL FOR ALL PROPERTY LINES AND EASEMENTS.
7. SEE CIVIL AND LANDSCAPE FOR ALL SITE IMPROVEMENTS.
8. SITE AND BUILDING SIGNAGE IS DESIGNED BY OTHERS AND INSTALLED BY THE GENERAL CONTRACTOR
9. DECORATIVE SITE LIGHTING IS DESIGNED BY OTHERS.

**KEY NOTES**

- [01] PARKWAY LANDSCAPING. SEE LANDSCAPE.
- [02] SIDEWALK. SEE LANDSCAPE.
- [03] PEDESTRIAN ORIENTED AMENITIES. SEE LANDSCAPE.
- [04] WATER FEATURE. SEE LANDSCAPE.
- [05] ENHANCED PAVING.
- [06] ENHANCED SIDEWALK CONNECTIVITY.
- [07] SHORT TERM BIKES.



SITE PLAN



**KEY PLAN**  
N.T.S

Number: 2019-294  
SK Number: Permit Number

**SITE PLAN**



0 25' 50' 100'

SCALE: 1" = 20'0"

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

**HOTEL**  
Site Plan



**A-5.1**  
2020-08.07  
19-242

## PRELIM HOTEL BUILDING & PARKING SUMMARY

SITE / LOT 1		±38,264 SF (0.88 ac)											
HOTEL FLOOR	HOTEL USES	BUILDING AREA	OPEN SPACE	KEYS				PARKING REQUIRED	EV PROVIDED	BICYCLE PROVIDED	VALET PARKING PROVIDED	PARKING FATIO	NOTES
				King	Queen	Suite	Keys / Level						
LEVEL 12	Guest rooms	11,331				12	12						Building area on Level 12 includes portion of the view underneath the architecture roof projection
	View Deck		739										
LEVEL 11	Guest rooms	13,733		12	8	4	24						
LEVEL 10	Guest rooms	13,733		12	8	4	24						
LEVEL 9	Guest rooms	13,733		12	8	4	24						
LEVEL 8	Guest rooms	13,733		12	8	4	24						
LEVEL 7	Guest rooms	13,733		12	8	4	24						
LEVEL 6	Guest rooms	13,733		12	8	4	24						
LEVEL 5	Guest rooms	13,733		12	8	4	24						
LEVEL 4	Guest rooms	13,733		12	8	4	24						
LEVEL 3	Public spaces, B.O.H.	15,702											
	Lounge	1,000											
	Bar	700											
	Terrace Seating		421										
	Breakfast	1,400											
	Meeting	2,458											
	Media Salon	477											
	Library	390											
	Fitness	966											
	Restrooms	820											
	Kitchen	1,560											
	House Keeping	900											
	Employee Room (break, lockers, restrooms, showers)	1,040											
	B.O.H. support												
	Pool Deck		4,475										
LEVEL 2	Admin & B.O.H.	1,790											
	Valet Parking									59			All Valet parking (15 EV spaces)
LEVEL 1	Hotel Arrival, Lobby, Bar, Bristro, B.O.H.	21,654											Building area on Level 1 includes drivable covered area and the east entrance and patio area under the architecture projection
	Arrival Canopy/Drop-off/Circulation	5,234											
	Hotel Arrival Lobby	1,378											
	Front Desk	245											
	Luggage	74											
	Work	264											
	Lobby Bar	1,070											
	Patio		305										
	Bristro	1,340											
	Kitchen	980											
	Restrooms	160											
	Loading & Receiving	1,320											
	Security	77											
	F&B Office	109											
	Storage	310											
	Long Term Bicycle storage	460											
BASEMENT	Valet Parking, Mechanical & Storage										63		All Valet parking (22 EV spaces)
TOTAL BUILDING AREA		160,341											
TOTAL OPEN SPACE			5,940										
TOTAL KEYS				96	64	44	204						
TOTAL KEY PERCENTAGE				47%	31%	22%	100%						
PARKING REQUIRED		1st 30 keys: at 1 per key						30 spaces					
		2nd 30 keys: at 1/2 per key						15 spaces					
		remaining: at 1/3 per key						48 spaces					
TOTAL PARKING REQUIRED								93 spaces				0.46	
VALET PARKING PROVIDED										122	0.60		100% Valet
EV Spaces		30% of the total number of parking spaces provided						37	37				Provided 30% of the total number of parking spaces provided
Bicycle-Short Term		1 per 10 guest rooms						20		20			When the application of these regulations results in the requirement of a fractional bicycle space, any fraction up to and including one-half may be disregarded, and any fraction over one-half shall be construed as requiring one bicycle parking space.
Bicycle-Long Term		1 per 10 guest rooms						20		20			

# DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

HOTEL  
Summary



**A-5.2**  
2020-08.07  
19-242

CALIFORNIA BUILDING CODE (2019) SECTION 202 DEFINITIONS:

AREA, BUILDING - The area included within surrounding exterior walls, or exterior walls and fire walls, exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above

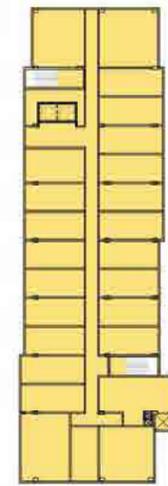
LEVEL	AREA
LEVEL 12	11,442 SF
LEVEL 11	14,714 SF
LEVEL 10	14,714 SF
LEVEL 9	14,714 SF
LEVEL 8	14,714 SF
LEVEL 7	14,714 SF
LEVEL 6	14,714 SF
LEVEL 5	14,714 SF
LEVEL 4	14,714 SF
LEVEL 3	16,641SF
LEVEL 2	21,159 SF
LEVEL 1	21,940 SF
LEVEL B (BASEMENT)	21,093 SF
TOTAL	209,987 SF



CBC BUILDING AREA: 14,714 SF  
**12** LEVEL 11  
1" = 40'-0"



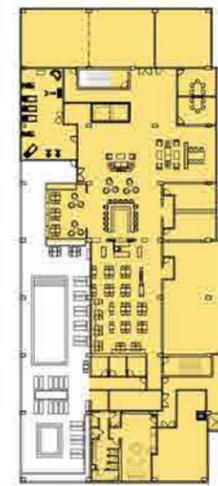
CBC BUILDING AREA: 14,714 SF  
**10** LEVEL 9  
1" = 40'-0"



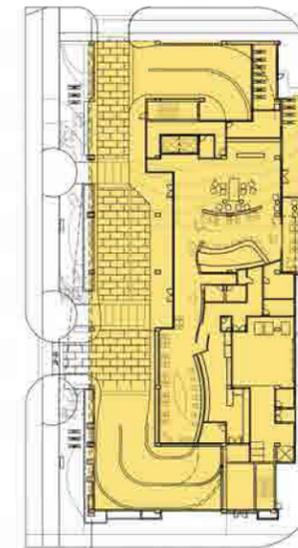
CBC BUILDING AREA: 14,714 SF  
**08** LEVEL 7  
1" = 40'-0"



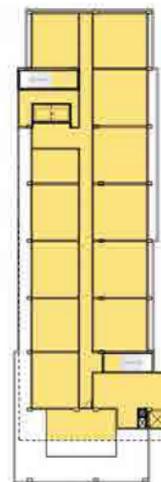
CBC BUILDING AREA: 14,714 SF  
**06** LEVEL 5  
1" = 40'-0"



CBC BUILDING AREA: 16,641 SF  
**04** LEVEL 3  
1" = 40'-0"



CBC BUILDING AREA: 21,940 SF  
**02** LEVEL 1  
1" = 40'-0"



CBC BUILDING AREA: 11,442 SF  
**13** LEVEL 12  
1" = 40'-0"



CBC BUILDING AREA: 14,714 SF  
**11** LEVEL 10  
1" = 40'-0"



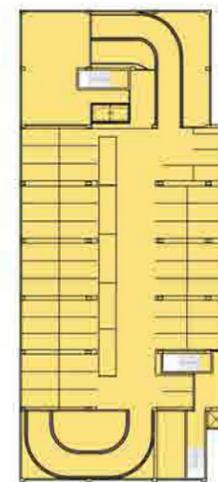
CBC BUILDING AREA: 14,714 SF  
**09** LEVEL 8  
1" = 40'-0"



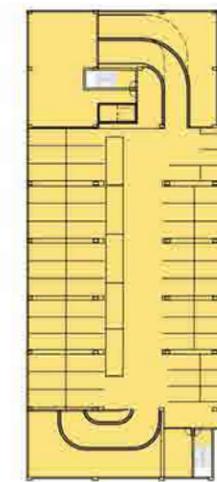
CBC BUILDING AREA: 14,714 SF  
**07** LEVEL 6  
1" = 40'-0"



CBC BUILDING AREA: 14,714 SF  
**05** LEVEL 4  
1" = 40'-0"



CBC BUILDING AREA: 21,159 SF  
**03** LEVEL 2  
1" = 40'-0"



CBC BUILDING AREA: 21,093 SF  
**01** LEVEL B  
1" = 40'-0"



0 25' 50' 100'  
SCALE: 1" = 40'-0"

DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

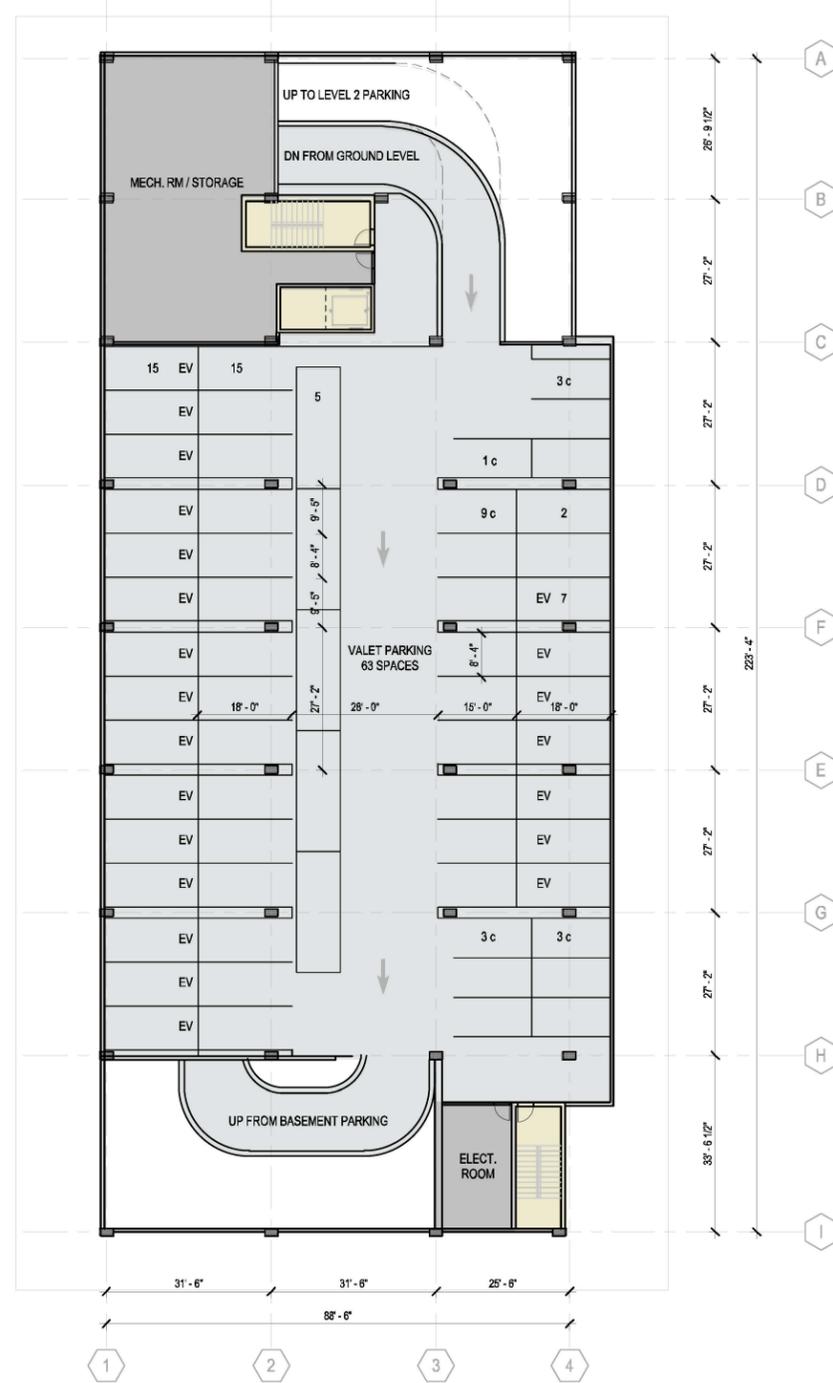
HOTEL  
Building Code Area Plans



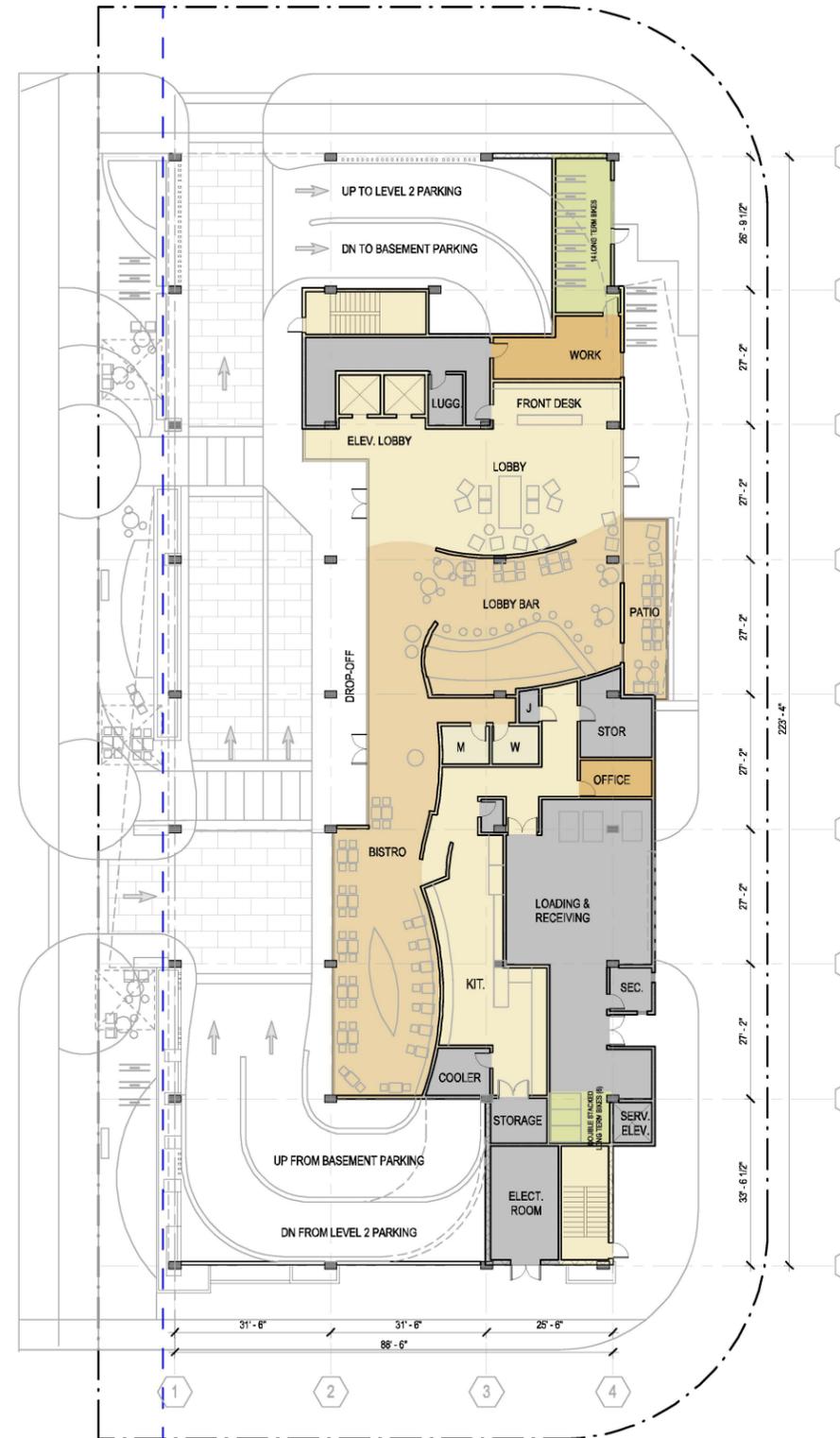
**A-5.21**  
2020-08.07  
19-242

COLOR LEGEND

- PUBLIC SPACES | CIRCULATION
- RESTAURANT | BAR | LOUNGE
- ADMIN. | WORK AREA
- MEDIA SALON
- FITNESS
- POOL DECK
- GUESTROOMS
- MEETING
- BOH
- PARKING
- LONG TERM BIKES



**BASEMENT**



**LEVEL 1**

**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

**HOTEL**  
Floor Plans



SCALE: 1/16" = 1'-0"

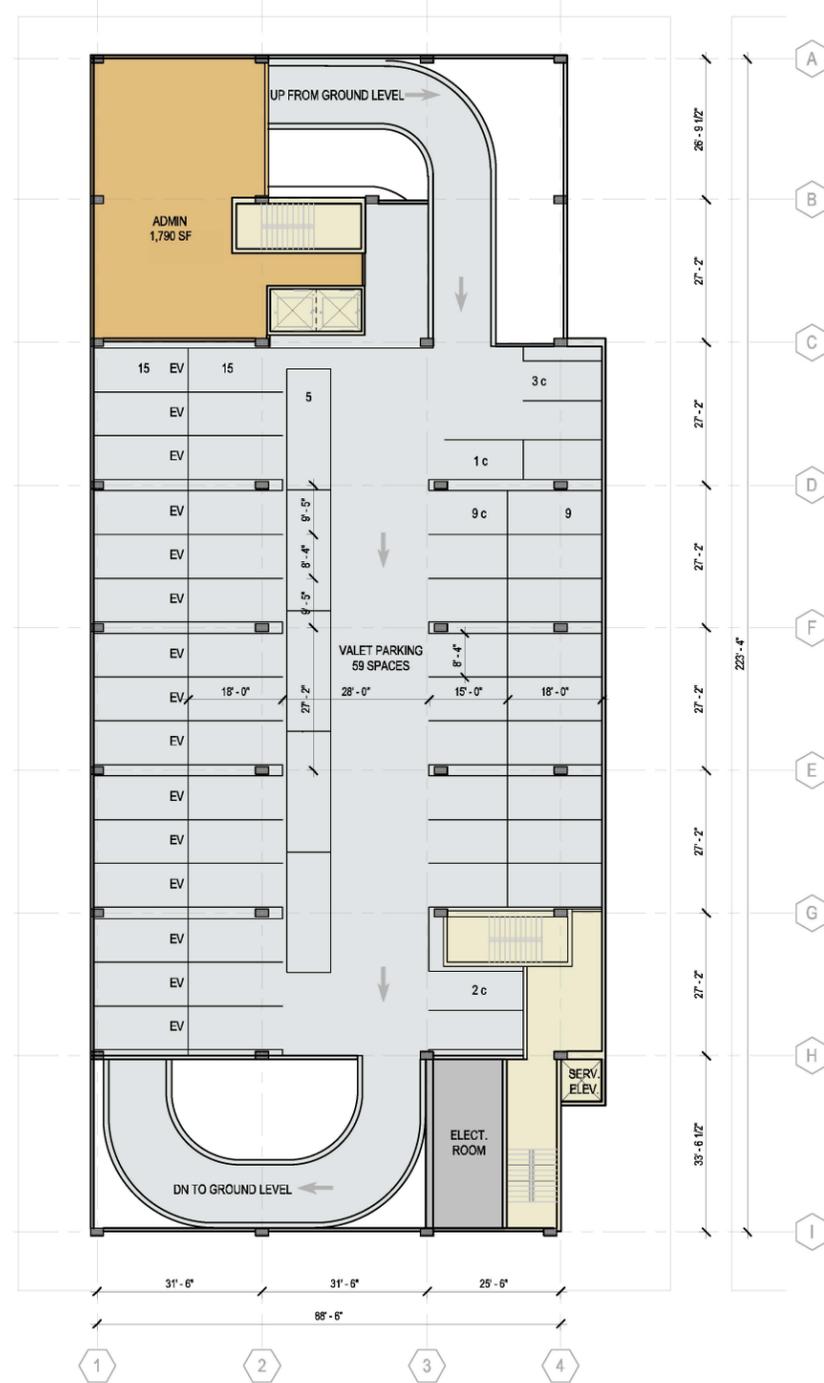


**A-5.3**

2020-08.07  
19-242

COLOR LEGEND

- PUBLIC SPACES | CIRCULATION
- RESTAURANT | BAR | LOUNGE
- ADMIN. | WORK AREA
- MEDIA SALON
- FITNESS
- POOL DECK
- GUESTROOMS
- MEETING
- BOH
- PARKING
- LONG TERM BIKES



LEVEL 2



LEVEL 3

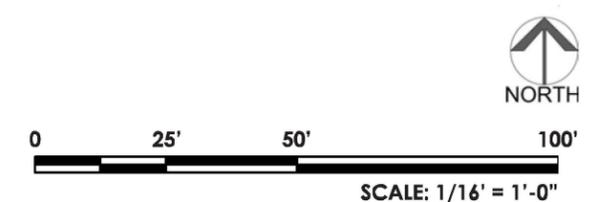
DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
 777 POST OAK BOULEVARD  
 SUITE 850  
 HOUSTON, TEXAS 77056

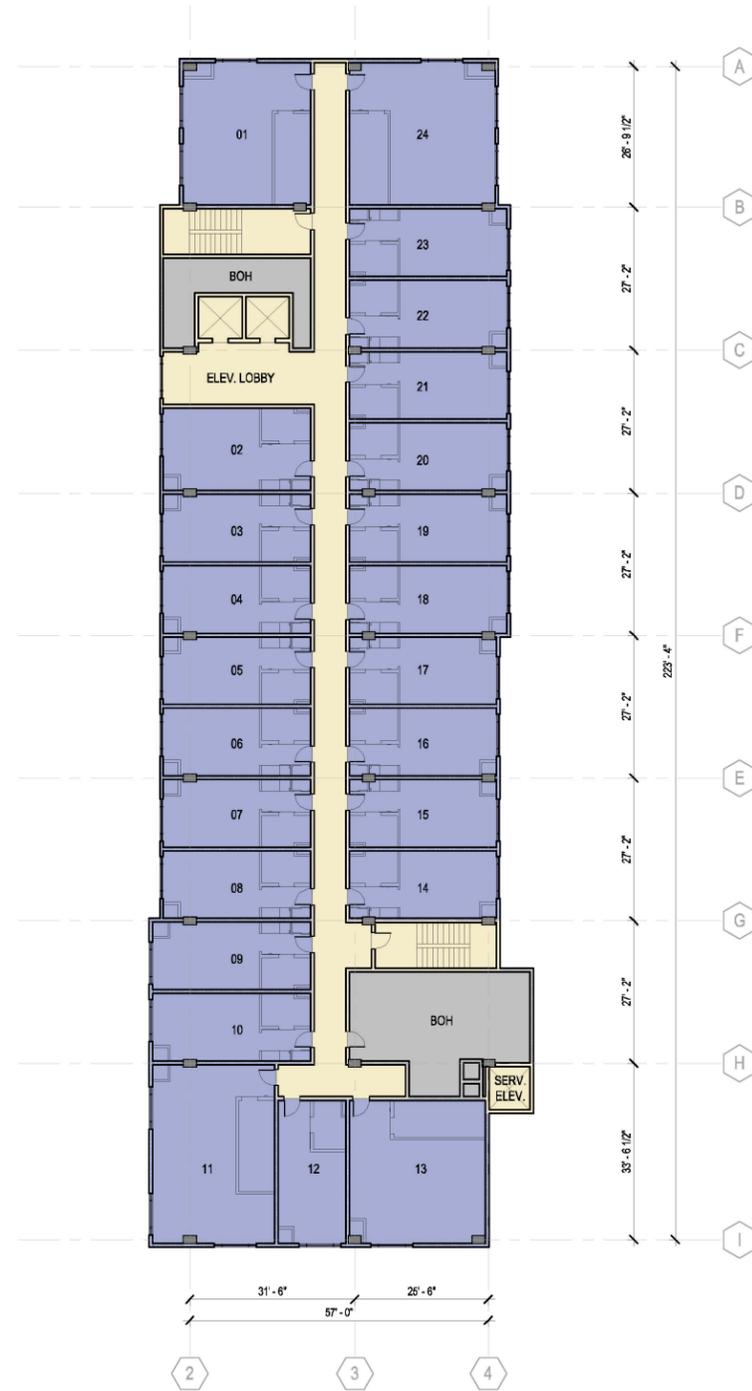
HOTEL  
 Floor Plans



A-5.4  
 2020-08.07  
 19-242

COLOR LEGEND

- PUBLIC SPACES | CIRCULATION
- RESTAURANT | BAR | LOUNGE
- ADMIN. | WORK AREA
- MEDIA SALON
- FITNESS
- POOL DECK
- GUESTROOMS
- MEETING
- BOH
- PARKING
- LONG TERM BIKES



TYP. FLOOR PLAN (LEVEL 4-11)



LEVEL 12

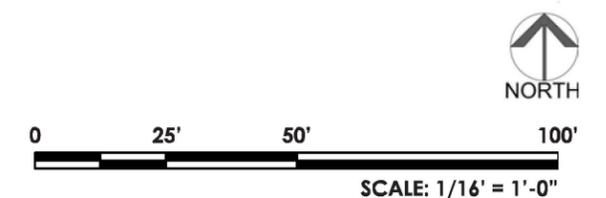
DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

HOTEL  
Floor Plans

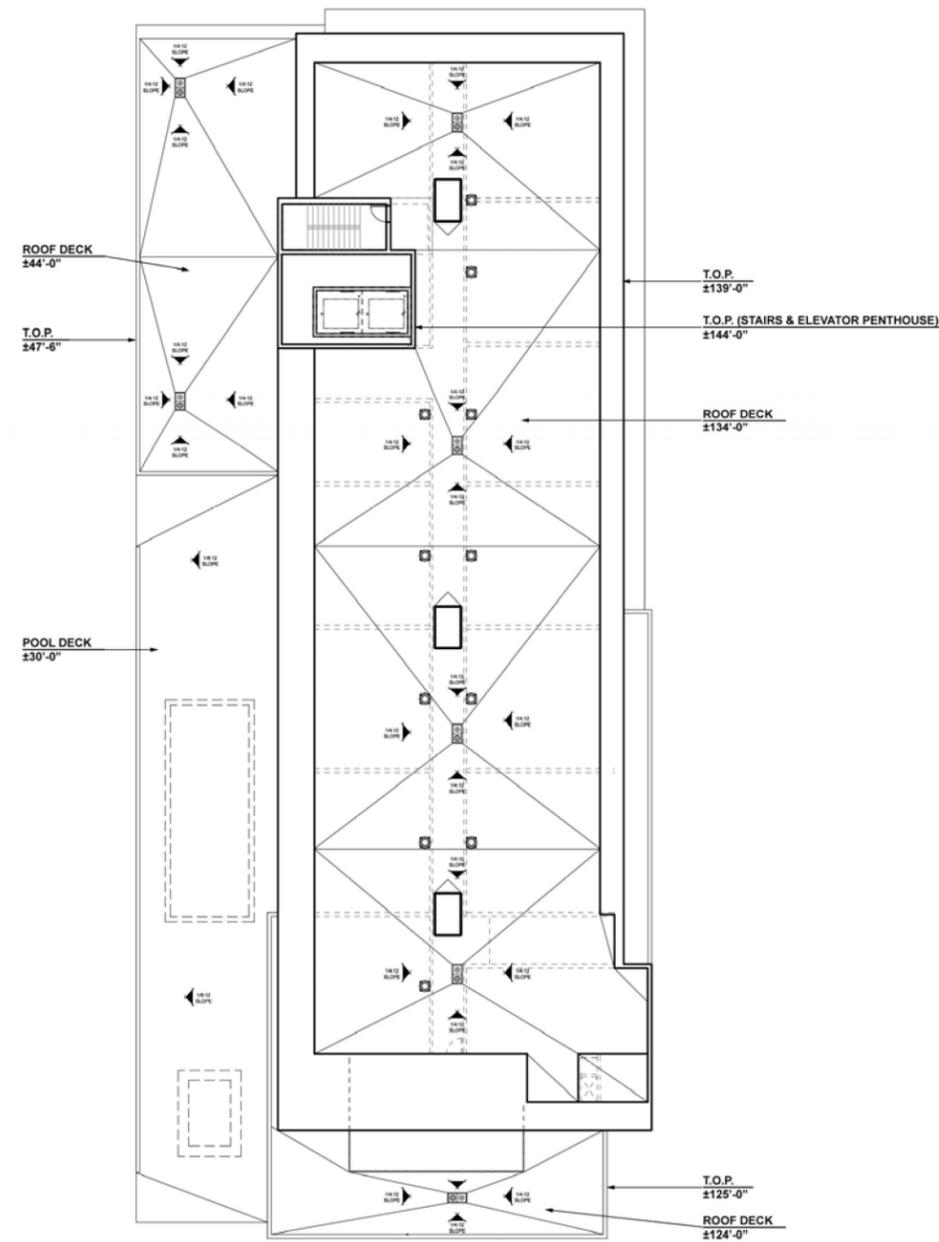


A-5.5

2020-08.07  
19-242

**ROOF NOTES**

1. ROOF MOUNTED MECHANICAL EQUIPMENT SHOW ARE PRELIMINARY AND FOR INFORMATION ONLY. SIZE, LOCATION, AND QUANTITY ARE TO BE DESIGNED BY A MECHANICAL ENGINEER.
2. CURBS AND FLASHING FOR ROOF MOUNTED MECHANICAL EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
3. SUPPORT FOR ALL ROOF MOUNTED MECHANICAL EQUIPMENT TO BE DESIGNED BY A STRUCTURAL ENGINEER.
4. ROOFER RESPONSIBLE FOR ROOF SLOPE AT 1/4" PER 1FT MINIMUM TO ROOF DRAIN.
5. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
6. ROOFING MATERIALS WILL PROVIDE A SOLAR REFLECTANCE INDEX EQUAL TO OR GREATER THAN 85 FOR A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE ROOF SURFACE AREA.
7. THE PROJECT WILL COMPLY WITH THE SOLAR REQUIREMENTS OF THE 2019 CALIFORNIA ENERGY STANDARDS.



**ROOF PLAN**

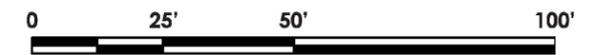
**DISTRICT AT WARNER CENTER**

WOODLAND HILLS, CA



**KAPLAN COMPANIES**  
 777 POST OAK BOULEVARD  
 SUITE 850  
 HOUSTON, TEXAS 77056

**HOTEL**  
 Roof Plan



SCALE: 1/16" = 1'-0"



**A-5.51**

2020-08.07  
 19-242

MATERIAL | LEGEND

- 01 EXTERIOR PLASTER 1, SMOOTH FINISH - "PURE WHITE"
- 02 EXTERIOR PLASTER 2, SMOOTH FINISH - "LAZY GRAY"
- 03 EXTERIOR PLASTER PANEL 1, SMOOTH FINISH - "PURE WHITE"
- 04 EXTERIOR PLASTER PANEL 2, SMOOTH FINISH - "LAZY GRAY"
- 05 METAL CLADDING, ANODIZED ALUMINUM - "SHADOW SERIES"
- 06 METAL AWNING, POWDER COATED - "BLACK MATTE"
- 07 METAL TRIM, POWDER COATED - "BLACK MATTE"
- 08 SCULPTURAL FORM SHAPE, KRION SOLID SURFACE OR SIMILAR - "PURE WHITE"
- 09 LARGE FORMAT TILE PANEL - "SPLENDOR"
- 10 ARCHITECTURAL DECORATIVE LASER CUT ALUMINUM SCREEN PANEL - "UMBRIA FINISH"
- 11 ALUMINUM EXTRUDED TUBES, POWDER COATED - "RUSTED"
- 12 ALUMINUM STOREFRONT, ANODIZED - "BLACK MATTE"
- 13 ALUMINUM WINDOWS, ANODIZED - "BLACK MATTE"
- 14 METAL RAILING, POWDER COATED - "BLACK MATTE"
- 15 EXTERIOR GRADE LIGHT TUBE
- 16 ACRYLIC PANEL LIGHT BOX
- 17 TEMPERED GLASS RAILING - "VISTACOO AZURIA"
- 18 GREEN SCREEN, LIVING WALL
- 19 WATER FEATURE
- 20 ALUMINUM ROLL-UP SERVICE DOOR, POWDER COATED - "SILHOUETTE GRAY"



LOWEST ADJACENT GRADE WITHIN 5'-0" OF THE BUILDING



DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

HOTEL  
West Elevation



A-5.6

2020-08-07  
19-242

MATERIAL | LEGEND

- 01 EXTERIOR PLASTER 1, SMOOTH FINISH - "PURE WHITE"
- 02 EXTERIOR PLASTER 2, SMOOTH FINISH - "LAZY GRAY"
- 03 EXTERIOR PLASTER PANEL 1, SMOOTH FINISH - "PURE WHITE"
- 04 EXTERIOR PLASTER PANEL 2, SMOOTH FINISH - "LAZY GRAY"
- 05 METAL CLADDING, ANODIZED ALUMINUM - "SHADOW SERIES"
- 06 METAL AWNING, POWDER COATED - "BLACK MATTE"
- 07 METAL TRIM, POWDER COATED - "BLACK MATTE"
- 08 SCULPTURAL FORM SHAPE, KRION SOLID SURFACE OR SIMILAR - "PURE WHITE"
- 09 LARGE FORMAT TILE PANEL - "SPLENDOR"
- 10 ARCHITECTURAL DECORATIVE LASER CUT ALUMINUM SCREEN PANEL - "UMBRIA FINISH"
- 11 ALUMINUM EXTRUDED TUBES, POWDER COATED - "TRUSTED"
- 12 ALUMINUM STOREFRONT, ANODIZED - "BLACK MATTE"
- 13 ALUMINUM WINDOWS, ANODIZED - "BLACK MATTE"
- 14 METAL RAILING, POWDER COATED - "BLACK MATTE"
- 15 EXTERIOR GRADE LIGHT TUBE
- 16 ACRYLIC PANEL LIGHT BOX
- 17 TEMPERED GLASS RAILING - "VISTACOO AZURIA"
- 18 GREEN SCREEN, LIVING WALL
- 19 WATER FEATURE
- 20 ALUMINUM ROLL-UP SERVICE DOOR, POWDER COATED - "SILHOUETTE GRAY"



LOWEST ADJACENT GRADE WITHIN 5'-0" OF THE BUILDING



DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

HOTEL  
East Elevation



A-5.7  
2020-08.07  
19-242

MATERIAL | LEGEND

- 01 EXTERIOR PLASTER 1, SMOOTH FINISH - "PURE WHITE"
- 02 EXTERIOR PLASTER 2, SMOOTH FINISH - "LAZY GRAY"
- 03 EXTERIOR PLASTER PANEL 1, SMOOTH FINISH - "PURE WHITE"
- 04 EXTERIOR PLASTER PANEL 2, SMOOTH FINISH - "LAZY GRAY"
- 05 METAL CLADDING, ANODIZED ALUMINUM - "SHADOW SERIES"
- 06 METAL AWNING, POWDER COATED - "BLACK MATTE"
- 07 METAL TRIM, POWDER COATED - "BLACK MATTE"
- 08 SCULPTURAL FORM SHAPE, KRION SOLID SURFACE OR SIMILAR - "PURE WHITE"
- 09 LARGE FORMAT TILE PANEL - "SPLENDOR"
- 10 ARCHITECTURAL DECORATIVE LASER CUT ALUMINUM SCREEN PANEL - "UMBRIA FINISH"
- 11 ALUMINUM EXTRUDED TUBES, POWDER COATED - "RUSTED"
- 12 ALUMINUM STOREFRONT, ANODIZED - "BLACK MATTE"
- 13 ALUMINUM WINDOWS, ANODIZED - "BLACK MATTE"
- 14 METAL RAILING, POWDER COATED - "BLACK MATTE"
- 15 EXTERIOR GRADE LIGHT TUBE
- 16 ACRYLIC PANEL LIGHT BOX
- 17 TEMPERED GLASS RAILING - "VISTACOO AZURIA"
- 18 GREEN SCREEN, LIVING WALL
- 19 WATER FEATURE
- 20 ALUMINUM ROLL-UP SERVICE DOOR, POWDER COATED - "SILHOUETTE GRAY"



DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

HOTEL  
North & South Elevations



A-5.8

2020-08.07  
19-242





VIEW 2



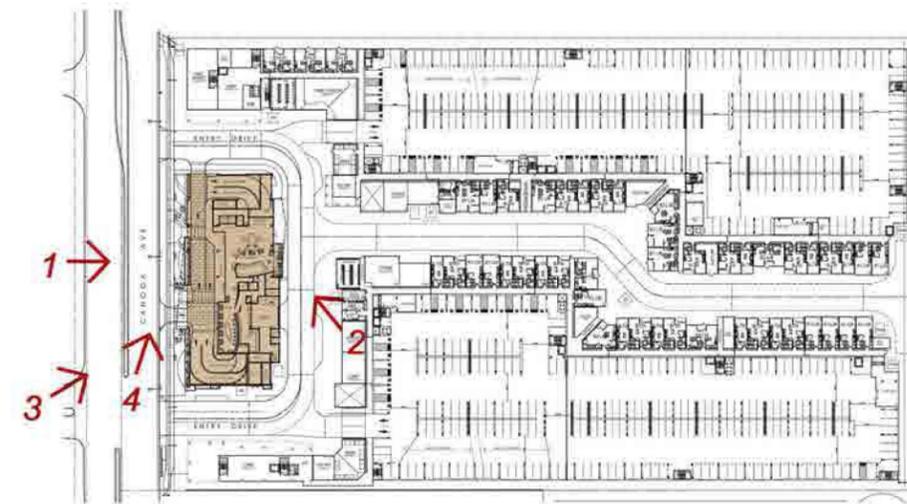
VIEW 3



VIEW 4



VIEW 1



DISTRICT AT WARNER CENTER

WOODLAND HILLS, CA



KAPLAN COMPANIES  
777 POST OAK BOULEVARD  
SUITE 850  
HOUSTON, TEXAS 77056

HOTEL  
Views



A-5.9

2020-08.07  
19-242



**LEVEL 8 ROOF DECK**  
**"SKY DECK"**  
 • shade trellis  
 • sit-up bar  
 • outdoor dining

**PODIUM LEVEL COURTYARD 1**  
**"THE RESORT"**  
 • cabanas  
 • chaise lounges  
 • sunning opportunities  
 • indoor-outdoor lifestyle  
 • dining terrace

**PODIUM LEVEL COURTYARD 2**  
**"THE BACKYARD"**  
 • fire pits  
 • outdoor dining  
 • intimate  
 • lush

**PODIUM LEVEL COURTYARD 3**  
**"SUPPER CLUB"**  
 • fire pits  
 • group dining and lounging opportunities  
 • games

**COMMUNITY STREET**  
 • see sheet L.2

**CANOGA AVENUE**

**HOTEL**

**BUILDING 2**

**PEDESTRIAN**  
**"WOONERF"**  
 in EVA LANE  
 • see sheet L.2

**LEVEL 3 HOTEL**  
**POOL TERRACE**  
 • pool and spa  
 • chaise lounges  
 • outdoor dining

**BUILDING 1**

**LEVEL 6 ROOF DECK**  
**"CLUB TERRACE"**  
 • fire pit  
 • outdoor dining  
 • moveable furniture

**PODIUM LEVEL COURTYARD 1**  
**"SPLASH"**  
 • cabanas  
 • chaise lounges  
 • sunning opportunities  
 • indoor-outdoor lifestyle  
 • dining terrace

**PODIUM LEVEL COURTYARD 2**  
**"THE SOCIAL"**  
 • fire pits  
 • group dining  
 • lounging opportunities

**VELA ON OX**

**PODIUM LEVEL COURTYARD 3**  
**"GAME TIME"**  
 • dining  
 • game lawn  
 • beer garden  
 • media wall

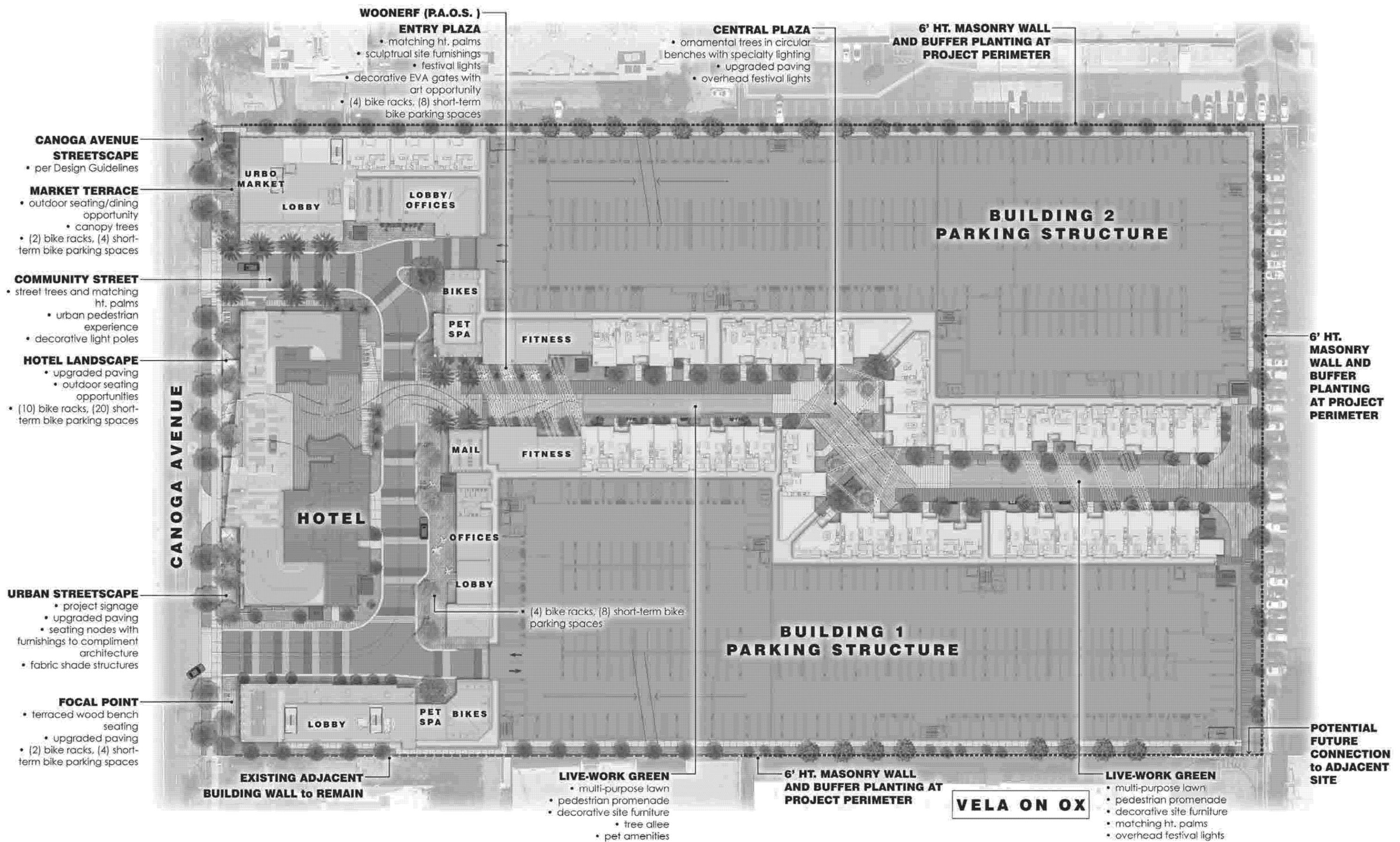
**DISTRICT at WARNER CENTER - LOS ANGELES, CA**

**KAPLAN DEVELOPMENT GROUP**

**COMPOSITE CONCEPTUAL LANDSCAPE PLAN - L.1**

AUGUST 12, 2020





- WOONERF (P.A.O.S.)**
- **ENTRY PLAZA**
    - matching ht. palms
    - sculptural site furnishings
    - festival lights
    - decorative EVA gates with art opportunity
    - (4) bike racks, (8) short-term bike parking spaces

- CENTRAL PLAZA**
- ornamental trees in circular benches with specialty lighting
  - upgraded paving
  - overhead festival lights

**6' HT. MASONRY WALL AND BUFFER PLANTING AT PROJECT PERIMETER**

- CANOGA AVENUE STREETSCAPE**
- per Design Guidelines

- MARKET TERRACE**
- outdoor seating/dining opportunity
  - canopy trees
  - (2) bike racks, (4) short-term bike parking spaces

- COMMUNITY STREET**
- street trees and matching ht. palms
  - urban pedestrian experience
  - decorative light poles

- HOTEL LANDSCAPE**
- upgraded paving
  - outdoor seating opportunities
  - (10) bike racks, (20) short-term bike parking spaces

- URBAN STREETSCAPE**
- project signage
  - upgraded paving
  - seating nodes with furnishings to compliment architecture
  - fabric shade structures

- FOCAL POINT**
- terraced wood bench seating
  - upgraded paving
  - (2) bike racks, (4) short-term bike parking spaces

**EXISTING ADJACENT BUILDING WALL to REMAIN**

- LIVE-WORK GREEN**
- multi-purpose lawn
  - pedestrian promenade
  - decorative site furniture
    - tree allée
    - pet amenities

**6' HT. MASONRY WALL AND BUFFER PLANTING AT PROJECT PERIMETER**

- LIVE-WORK GREEN**
- multi-purpose lawn
  - pedestrian promenade
  - decorative site furniture
  - matching ht. palms
  - overhead festival lights

**6' HT. MASONRY WALL AND BUFFER PLANTING AT PROJECT PERIMETER**

**POTENTIAL FUTURE CONNECTION TO ADJACENT SITE**

**VELA ON OX**

**DISTRICT at WARNER CENTER - LOS ANGELES, CA**

**KAPLAN DEVELOPMENT GROUP**

AUGUST 12, 2020

**GROUND LEVEL CONCEPTUAL LANDSCAPE PLAN - L.2**



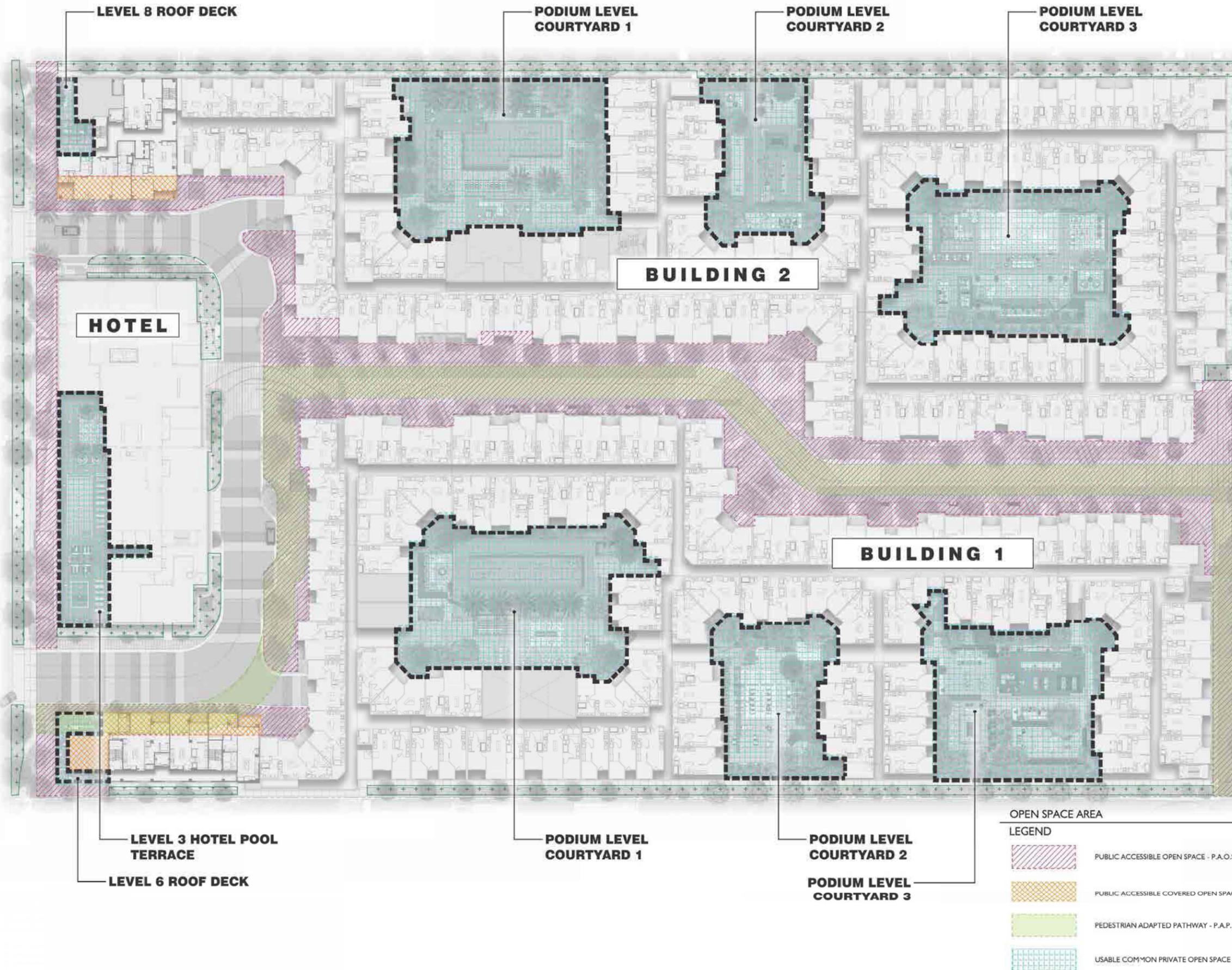
DISTRICT at WARNER CENTER - LOS ANGELES, CA

KAPLAN DEVELOPMENT GROUP

AUGUST 12, 2020

LIFESTYLE IMAGERY - L.3





**PROJECT DATA**

PROJECT ADDRESS: 6100 CANOGA AVENUE, WOODLAND HILLS, CA  
 LEGAL: LOT 9 OF TRACT NO. 30615 IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 790 PAGES 98, 99 AND 100 OF MAPS, IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY. APN: 2149-005-012  
 WARNER CENTER SPECIFIC PLAN (ORDINANCE NO. 182766)

**COVENANT AND AGREEMENT STATEMENTS:**

\* The subdivider shall record a covenant and agreement satisfactory to the Advisory Agency Guaranteeing that:

- \*a. The planting and irrigation system shall be completed by the developer/builder prior to the close of escrow of 50 percent of the units of the project or phase.
- \*b. Sixty days after landscape and irrigation installation, the landscape professional shall submit to the homeowners/property owners association a Certificate of Substantial Completion ( 12.40 G LAMC.)
- \*c. The developer/builder shall maintain the landscaping and irrigation for 60 days after completion of the landscape and irrigation installation.
- \*d. The developer/builder shall guarantee all trees and irrigation for a period of six months and all other plants for a period of 60 days after landscape and irrigation installation.

**LOT COVERAGE**

BUILDING FOOTPRINT	275,814 SQFT	72 %
PAVING / HARDSCAPE	44,805 SQFT	12 %
LANDSCAPE	62,867 SQFT	16 %
	383,486 SQFT	100 %

**PUBLIC ACCESSIBLE OPEN SPACE REQUIRED**

PUBLIC OPEN SPACE REQUIRED (15% OF NET SITE AREA OF 383,486 SQFT)	57,523 SQFT
PUBLIC OPEN SPACE PROVIDED	59,104 SQFT
PLANTED AREA REQUIRED WITHIN P.A.O.S. (50% OF USABLE OPEN SPACE)	29,552 SQFT
PLANTED AREA PROVIDED WITHIN P.A.O.S.	29,700 SQFT

**USABLE COMMON OPEN SPACE PROVIDED**

STUDIO (56 X 100 SQFT PER UNIT)	5,600 SQFT
1 BR (56 X 100 SQFT PER UNIT)	55,600 SQFT
2 BR (268 X 125 SQFT PER UNIT)	33,500 SQFT
USABLE OPEN SPACE REQUIRED	94,700 SQFT

**USABLE OPEN SPACE PROVIDED**

RESIDENT COURT 1 (BLD 1)	13,460 SQFT
RESIDENT COURT 2 (BLD 1)	7,164 SQFT
RESIDENT COURT 3 (BLD 1)	11,027 SQFT
RESIDENT COURT 1 (BLD 2)	13,466 SQFT
RESIDENT COURT 2 (BLD 2)	6,469 SQFT
RESIDENT COURT 3 (BLD 2)	13,177 SQFT
ROOF DECK (LEVEL 6)	750 SQFT
ROOF DECK (LEVEL 8)	750 SQFT
P.A.O.S. (ONLY AREA NOT WITHIN REQUIRED SETBACK)	59,104 SQFT
SUBTOTAL EXTERIOR USABLE OPEN SPACE	125,367 SQFT

FITNESS (BLD 1)	2,012 SQFT
FITNESS (BLD 2)	1,772 SQFT
CLUB / LOUNGE (BLD 1)	2,101 SQFT
CLUB / LOUNGE (BLD 2)	2,225 SQFT
LOBBY / OFFICES (BLD 1)	2,472 SQFT
LOBBY / OFFICES (BLD 2)	2,555 SQFT
LOBBY (HOTEL)	1,541 SQFT
CLUB ROOM (HOTEL)	664 SQFT
CLUB ROOM (LEVEL 6)	627 SQFT
BIKE STORAGE / KITCHEN (BLD 1)	1,340 SQFT
BIKE STORAGE / KITCHEN (BLD 2)	825 SQFT
PET SPA (BLD 1)	1,153 SQFT
PET SPA (BLD 2)	575 SQFT
PRIVATE OPEN SPACE (PRIVATE PATIOS)	NOT REQUIRED

USABLE OPEN SPACE PROVIDED 143,229 SQFT

**OTHER COMMON USABLE**

PLANTED AREA REQUIRED FOR USABLE OPEN SPACE (25% OF USABLE OPEN SPACE X 125,367 SQFT)	31,342 SQFT
PLANTED AREA PROVIDED FOR USABLE OPEN SPACE (PLANTED AREA PROVIDED FOR OVERALL SITE)	31,500 SQFT
	62,867 SQFT
PLANTED AREA REQUIRED FOR ACTIVE STREETS (30% OF FRONTAGE ALONG CANOGA AVENUE 7,500 SQFT)	2,250 SQFT
PLANTED AREA PROVIDED FOR ACTIVE STREETS	3,200 SQFT

**TREE REQUIREMENTS**

24" BOX TREES REQUIRED PER LAMC 12.21 (1/ EVERY 4 UNITS) 220 TREES  
 OR PER LAMC 12.42C ( ONE TREE / 500 SQFT OF OVERALL SITE)

24" BOX OR LARGER TREES PROVIDED 314 TREES\*  
 (\*DOES NOT INCLUDE THE 121 PALMS SHOWN)



PROPOSED TREE AND PALM LIST					
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	CA NATIVE	QTY
	ACACIA BAILEYANA 'PURPUREA' PURPLE-LEAF BAILEY ACACIA	24"BOX	LOW		5
	ARBUTUS MENZIESII PACIFIC MADRONE	36"BOX	LOW		5
	ARBUTUS X 'MARINA' HYBRID STRAWBERRY TREE	36"BOX	LOW		15
	LAURUS X 'SARATOGA' SARATOGA HYBRID LAUREL	24" BOX	LOW	X	26
	MAGNOLIA GRANDIFLORA 'LITTLE GEM' DWARF SOUTHERN MAGNOLIA	24" BOX	MODERATE		5
	MAGNOLIA G. 'MAJESTIC BEAUTY' SOUTHERN MAGNOLIA	36"BOX	MODERATE		9
	MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK	24"BOX	LOW		10
	MELALEUCA QUINQUENERVIA CAJAPUT TREE	24"BOX	LOW		18
	PISTACIA CHINENSIS CHINESE PISTACHE	36"BOX	MODERATE		11
	QUERCUS AGRIFOLIA COAST LIVE OAK MULTI-TRUNK	36" BOX	VERY LOW	X	4
	RHUS OVATA SUGAR BUSH	15 GAL.	LOW		23
	SAMBUCUS MEXICANA MEXICAN ELDERBERRY	15 GAL.	LOW		21
	TRISTANIA CONFERTA BRISBANE BOX	24"BOX	MODERATE		28
CANOGA AVENUE STREET TREES					
	TBD BY BUREAU OF STREET TREES 25'-30" SPACING, TYP.	36" BOX	MODERATE		12
PALMS					
	ARCHONTOPHOENIX CUNNINGHAMIANA KING PALM - MULTI-TRUNK	36"BOX	MODERATE		3
	BISMARCKIA NOBILIS BISMARCK PALM	24"BOX	MODERATE	X	3
	BRAHEA ARMATA MEXICAN BLUE PALM	24"BOX	MODERATE	X	7
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM - MULTI-TRUNK	36"BOX	LOW	X	2
	PHOENIX D. 'MEDJOO' DATE PALM	18" B.T.H.	MODERATE	X	11

TOTAL # OF TREES/PALMS MODERATE: 77 (37%)  
 TOTAL # OF TREES/PALMS LOW AND VERY LOW: 129 (63%)

TREES REQUIRED BY LAMC 12.21 MIN 24" BOX SIZE: 220  
 1 PER 4 UNITS PALMS NOT INCLUDED  
 TOTAL NUMBER OF TREES INCLUDED GROUND LEVEL: 136  
 TOTAL NUMBER OF TREES INCLUDED COURTYARDS: 91  
 TOTAL TREES: 227

DISTRICT at WARNER CENTER - LOS ANGELES, CA

KAPLAN DEVELOPMENT GROUP

AUGUST 12, 2020

TREE PLAN - GROUND FLOOR - L.5



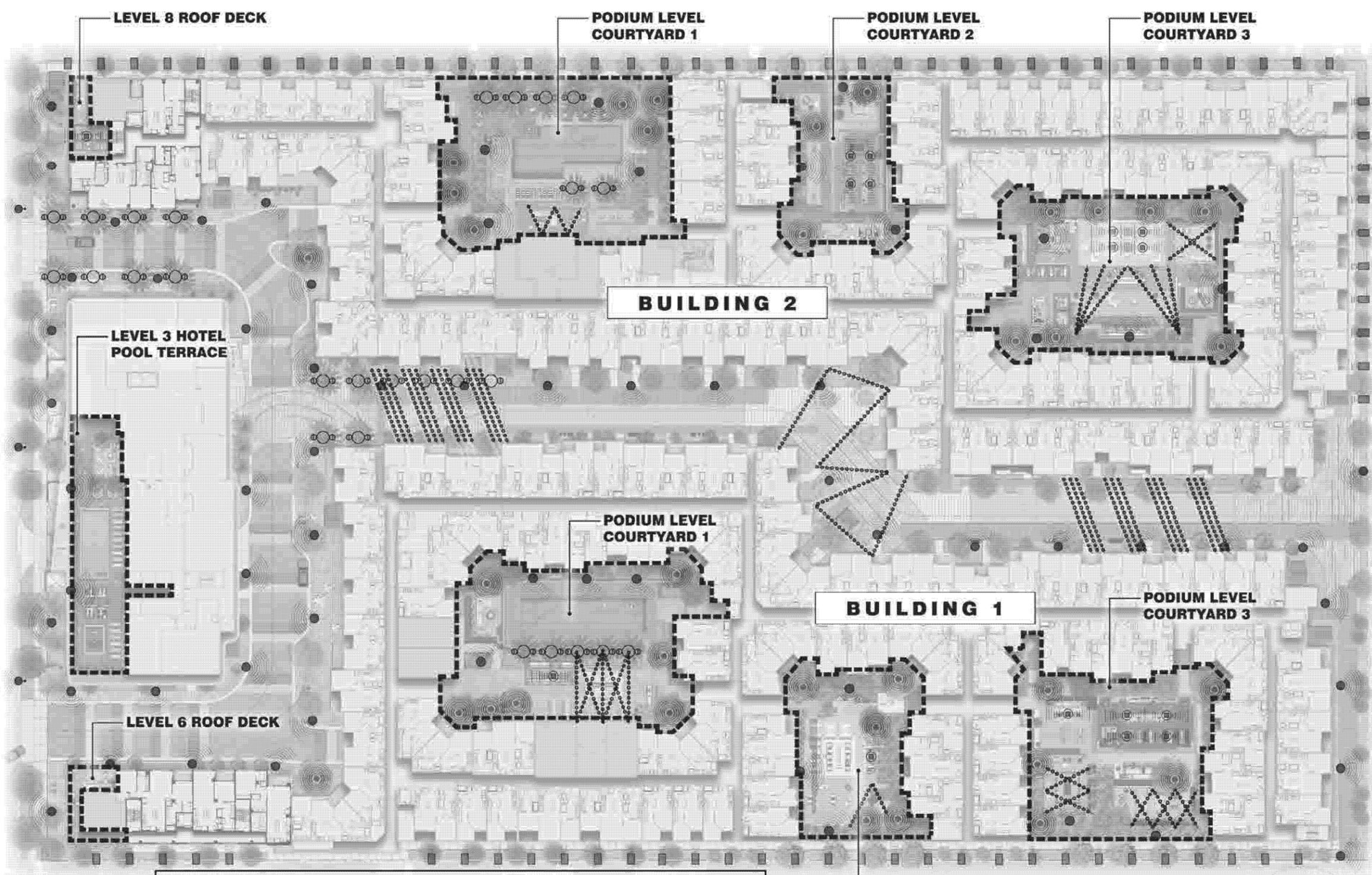


PROPOSED TREE AND PALM LIST					
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	CA NATIVE	QTY
	ACACIA BAILEYANA 'PURPUREA' PURPLE-LEAF BAILEY ACACIA	24"BOX	LOW		10
	AGONIS FLEXUOSA PEPPERMINT TREE	36"BOX	MODERATE		2
	ARBUTUS MENZIESII PACIFIC MADRONE	36"BOX	LOW		5
	ARBUTUS X 'MARINA' HYBRID STRAWBERRY TREE	36"BOX	LOW		5
	ARBUTUS X 'MARINA' HYBRID STRAWBERRY TREE	36"BOX	LOW		1
	CERCIS OCCIDENTALIS WESTERN REDBUD MULTI-TRUNK	24"BOX	LOW	X	6
	COTINUS COGGYRIA 'ROYAL PURPLE' ROYAL PURPLE SMOKE TREE	24" BOX	LOW	X	26
	LAURUS X 'SARATOGA' SARATOGA HYBRID LAUREL	24" BOX	LOW	X	8
	MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK	24"BOX	LOW		13
	OLEA EUROPAEA 'SWAN HILL' SWAN HILL OLIVE - MULTI-TRUNK	36"BOX	LOW		13
	QUERCUS AGRIFOLIA COAST LIVE OAK MULTI-TRUNK	36" BOX	VERY LOW		2
PALMS	BOTANICAL / COMMON NAME	SIZE	WUCOLS	CA NATIVE	QTY
	ARCHONTOPHOENIX CUNNINGHAMIANA KING PALM - MULTI-TRUNK	36"BOX	MODERATE		19
	BISMARCKIA NOBILIS BISMARCK PALM	24"BOX	MODERATE	X	11
	BRAMEA ARMATA MEXICAN BLUE PALM	24"BOX	MODERATE	X	9
	BUTIA CAPITATA JELLY PALM	36"BOX	LOW		19
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM - MULTI-TRUNK	36"BOX	LOW	X	5
	PHOENIX DACTYLIFERA 'MEDJOOL' DATE PALM	18" B.T.H.	MODERATE	X	11
	PHOENIX RECLINATA SENEGAL DATE PALM - MULTI-TRUNK	48"BOX	MODERATE	X	7

TOTAL # OF TREES/PALMS MODERATE: 60 (34%)  
 TOTAL # OF TREES/PALMS LOW and VERY LOW: 115 (66%)

TREES REQUIRED BY LAMC 12.21 MIN 24" BOX SIZE: 220  
 1 PER 4 UNITS PALMS NOT INCLUDED  
 TOTAL NUMBER OF TREES INCLUDED GROUND LEVEL: 136  
 TOTAL NUMBER OF TREES INCLUDED COURTYARDS: 91  
 TOTAL TREES: 227





**LANDSCAPE LIGHTING CONCEPT**

THE OUTDOOR LIGHTING CONCEPT IS TO PROVIDE LEVELS OF LIGHTING SUFFICIENT TO MEET SAFETY AND ORIENTATION NEEDS.

WITHIN PUBLIC AREAS LIGHTING WILL BE WARM COLORED AND UNOBTUSIVE. LIGHT SOURCES WILL BE LEED.

LIGHTING SOURCES FOR THE LANDSCAPE AND PAVED AREAS WILL BE CONCEALED AND THE LIGHTING INDIRECT NOT VISIBLE FROM A PUBLIC VIEWPOINT. LIGHT SOURCES SHOULD BE DIRECTED SO THAT IT DOES NOT FALL OUTSIDE THE AREA TO BE LIGHTED.

ALL EXTERIOR SURFACE AND ABOVE-GROUND MOUNTED FIXTURES WILL BE SYMPHETIC AND COMPLIMENTARY TO THE ARCHITECTURAL THEME.

WALL MOUNTED FIXTURES WILL HAVE OPAQUE GLASS AND BE FITTED WITH LAMPS NOT EXCEEDING 60 WATTS.

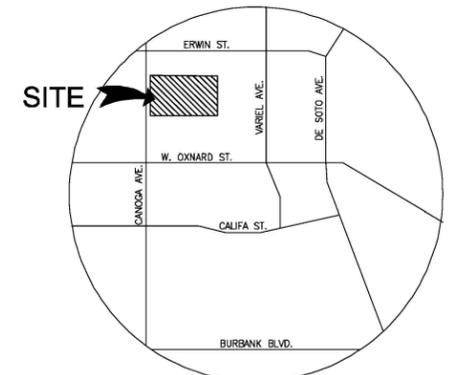
- GENERAL SITE LIGHTING NOTES**
1. CONTRACTOR SHALL STUB OUT ELECTRICAL CONDUIT TO SPECIMEN TREES/PALMS PRIOR TO PLANTING. ALL FIXTURES SHALL BE MOUNTED AFTER INSTALLATION OF SPECIMEN PLANT MATERIAL.
  2. ALL LIGHTING FIXTURES AND ELECTRICAL INSTALLATION SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODES AND LOCAL GOVERNMENT AGENCY.
  3. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGES INCURRED.
  4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
  5. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT UNIFORM BUILDING CODES, PERMIT REQUIREMENTS AND STATE AND HEALTH SAFETY REQUIREMENTS.
  6. ALL ELECTRICAL FIXTURES ARE SHOWN SCHEMATICALLY FOR LOCATIONS AND QUANTITIES REQUIRED. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND INSTALL FIXTURES PER MANUFACTURERS SPECIFICATIONS.
  7. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY CONDUIT THROUGH THE PODIUM DECK AND PLANTER WALLS AND UNDER PAVING PRIOR TO CONSTRUCTION.

**LIGHT FIXTURE LEGEND:**

SYMBOL	TYPE / LOCATION	MANUFACTURER / MODEL #	LAMP/LOAD	SYMBOL	TYPE / LOCATION	MANUFACTURER / MODEL #	LAMP/LOAD
	DOWN LIGHT	WAC FM-W2605-WT	16 W LED		FESTIVAL STRING LIGHTS at COURTYARDS and P.A.O.S.	TOKSTAR LIGHTING: EXBK-6-VI-S14-C	1.8W / 24 VAC
	12' POLE LIGHT at P.A.O.S. and ENTRY DRIVE	T.B.D	T.B.D		PALM MOUNTED UPLIGHT	T.B.D	T.B.D
	STAKE MOUNTED LANDSCAPE LIGHT (2 PER TREE)	FOCUS INDUSTRIES: RXD-02-BLT	20 WATT		BOLLARD at PEDESTRIAN PATHWAYS	T.B.D	T.B.D
	12' POLE LIGHT at COURTYARDS	T.B.D	T.B.D		STREET LIGHT	-	-

# PARCEL MAP NO. 083089

FOR PARCEL MAP FROM ONE LOT TO THREE LOTS IN THE CITY OF LOS ANGELES,  
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA  
6100 CANOGA AVENUE



VICINITY MAP

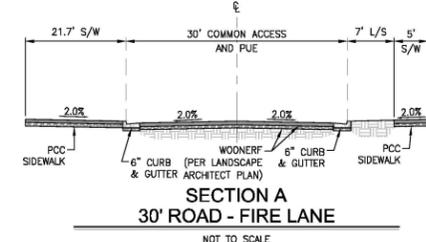
THOMAS GUIDE PG. 530-87/560-81  
NOT TO SCALE

## SHEET INDEX

TITLE SHEET	1
ALTA SURVEY	2
EXISTING TREE AND SURVEY REPORT	3

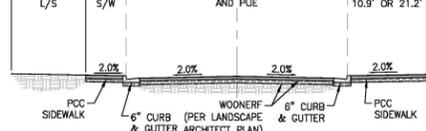
## LEGEND & ABBREVIATIONS

---	RIGHT-OF-WAY/PROPERTY LINE
---	PROPOSED DEDICATION
---	STREET CENTER LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED FIRE LANE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED FIRE WATER LINE
---	PROPOSED DOMESTIC WATER LINE
---	PROPOSED STORM DRAIN LINE
---	CENTERLINE
---	DRIVEWAY
---	EASEMENT
---	EXISTING
---	FDC
---	FIRE DEPARTMENT CONNECTION
---	FIRE HYDRANT
---	PROPERTY LINE
---	PROPOSED
---	PUBLIC UTILITY EASEMENT
---	RIGHT OF WAY
---	SIDEWALK
---	S/W
---	TOTAL
---	PROPOSED SIDEWALK EASEMENT
---	PROPOSED WATER/FIRE WATER METER
---	PROPOSED FIRE HYDRANT
---	PROPOSED FDC



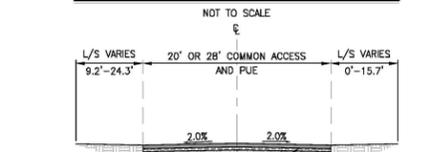
SECTION A  
30' ROAD - FIRE LANE

NOT TO SCALE



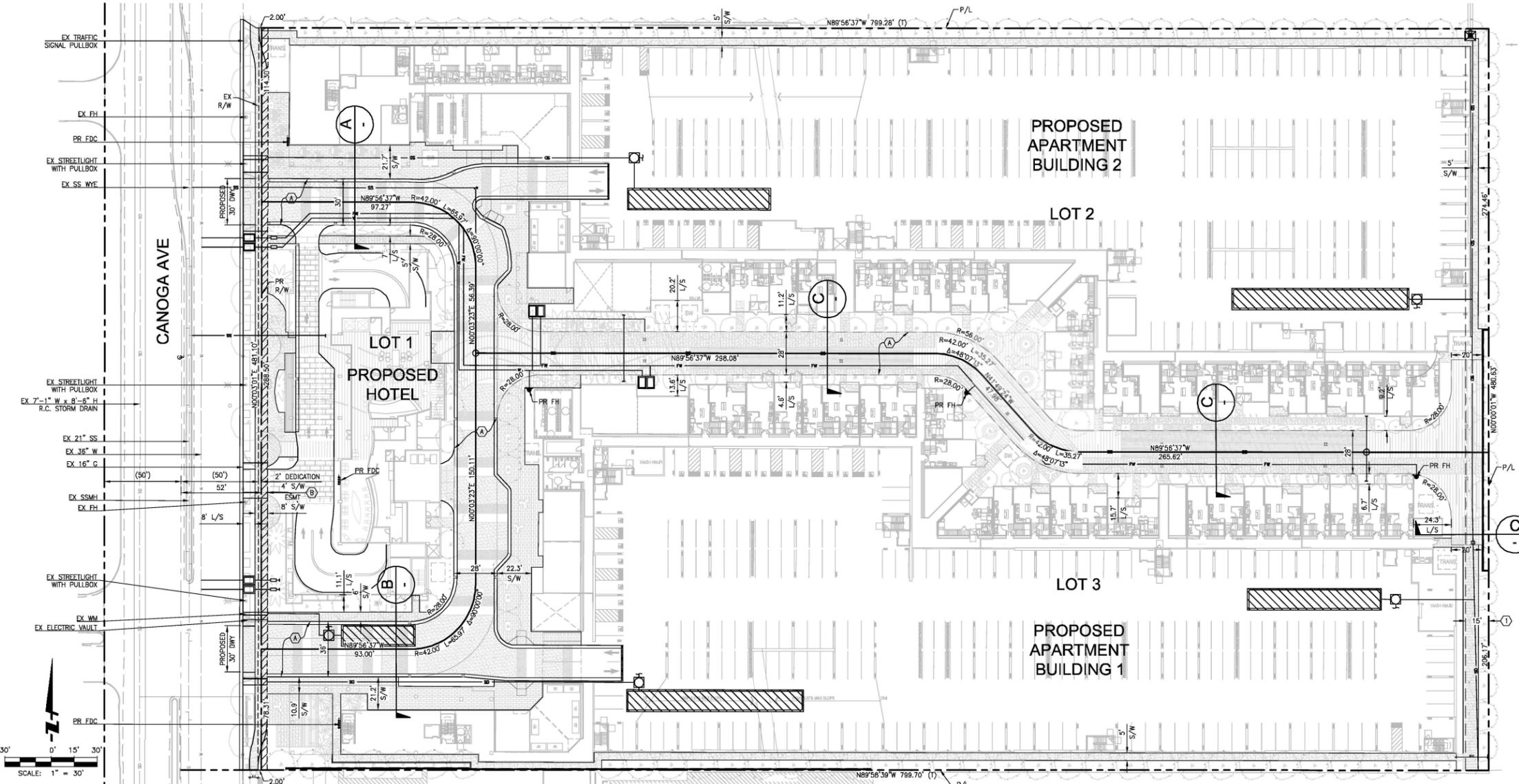
SECTION B  
36' ROAD - FIRE LANE

NOT TO SCALE



SECTION C  
20' OR 28' ROAD - FIRE LANE

NOT TO SCALE



**LEGAL DESCRIPTION**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 9 OF TRACT NO. 30615, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 790 PAGES 98, 99 AND 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**ASSESSOR'S PARCEL MAP INFORMATION**  
APN: 2149-005-012

**EXISTING SITE**  
ALL EXISTING BUILDINGS LOCATED WITHIN THE PROJECT SITE TO BE REMOVED/ DEMOLISHED

**BENCHMARK**  
BENCHMARK DESIGNATION: 06-01424, NAD 1988  
ELEV. = 825.813 (2000 ADJUSTMENT)

DESCRIPTION: CITY OF L.A. PBM #STMPD 06-01424 1971\*, 2 FT E/D E. CURB CANOGA AVE., 29 FT. S/O SLY DRIVEWAY ENTRANCE TO FRY'S ELECTRONICS, 0.12 MI. N/O OXNARD ST., S. END CB.

**BASIS OF BEARING**  
THE BEARING OF N00°03'01"E ALONG THE CENTERLINE OF CANOGA AVENUE PER TRACT NO. 30615, BOOK 790, PAGE 98, 99 AND 100 OF MAPS IN THE CITY OF WOODLAND HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**FLOOD ZONE INFORMATION**  
ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C 1290 F RECORDED SEPTEMBER 26, 2008.  
ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING.

**GENERAL NOTES**

- THE SUBJECT PROPERTY WILL BE SERVED BY PUBLIC WATER, SEWER, AND STORM DRAIN INFRASTRUCTURE DIRECTLY ADJACENT TO THE PROPERTY.
- ALL BOUNDARY MONUMENTS ARE TO BE SET WITHIN 24 MONTHS AFTER FINAL MAP RECORDATION, OR MONUMENTS WILL BE BONDED FOR.

**HAZARD AREA INFORMATION**

- PROJECT IS NOT LOCATED IN AN AIRPORT HAZARD AREA.
- PROJECT IS NOT LOCATED IN VERY HIGH FIRE HAZARD SEVERITY ZONE.
- PROJECT IS NOT LOCATED IN A FLOOD HAZARD ZONE.
- PROJECT IS NOT LOCATED IN A HAZARDOUS WASTE/BORDER ZONE.
- PROJECT IS NOT A METHANE HAZARD SITE.
- PROJECT IS NOT LOCATED IN A HIGH WIND VELOCITY AREA.
- PROJECT IS NOT LOCATED IN AN ALQUIST-PRIDLO FAULT ZONE.
- PROJECT IS NOT LOCATED IN A LANDSLIDE AREA.
- PROJECT IS LOCATED IN A LIQUEFACTION ZONE.
- PROJECT IS NOT LOCATED IN A TSUNAMI INUNDATION ZONE.

**SPECIAL PLANNING AREA INFORMATION**

- PROJECT IS NOT LOCATED IN A COASTAL ZONE.
- PROJECT IS NOT LOCATED IN THE HILLSIDE ORDINANCE AREA.
- PROJECT IS NOT LOCATED IN THE HILLSIDE ORDINANCE AREA.
- PROJECT IS NOT LOCATED IN A SPECIAL GRADING AREA.
- PROJECT IS LOCATED IN AN URBAN AGRICULTURE INCENTIVE ZONE.
- PROJECT IS LOCATED IN THE WARNER CENTER SPECIFIC PLAN AREA.

**HAUL ROUTE**  
THE PROJECT WILL NOT REQUIRE A HAUL ROUTE PERMIT TO BE APPROVED IN CONJUNCTION WITH THIS PARCEL MAP.

**PROPOSED METHOD OF SEWAGE DISPOSAL**  
THE PROJECT SITE WILL BE SERVED BY THE EXISTING SEWER MAIN IN CANOGA AVENUE.

**PROPOSED METHOD OF FLOOD AND EROSION CONTROL**  
THE SITE IS SERVED BY AN EXISTING PUBLIC STORM DRAIN MAIN IN CANOGA AVENUE. THE STORM WATER SHEET FLOWS NORTHWESTERLY TOWARDS CANOGA AVENUE AND IS COLLECTED BY ON-SITE CATCH BASINS BEFORE DISCHARGING INTO CANOGA AVENUE VIA CURB DRAIN. EROSION CONTROL SHALL BE IMPLEMENTED THROUGHOUT THE CONSTRUCTION PHASE IN ACCORDANCE TO STANDARDS AND REQUIREMENTS SET FORTH BY THE CALIFORNIA STATE REGIONAL WATER QUALITY CONTROL BOARD AND THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.

**PROTECTED TREE STATEMENT**  
THERE ARE CURRENTLY NO LANDMARK TREES AS RECOGNIZED BY THE CITY OF LA ON-SITE. ALL ON-SITE TREES ARE TO BE REMOVED.  
THERE ARE CURRENTLY 7 CITY OF LOS ANGELES STREET TREES THAT WILL BE RETAINED AND PROTECTED IN PLACE.

**ZONING**  
CURRENT/PROPOSED:  
(WC) DOWNTOWN-SM

**GRADING**  
THE PROPOSED SITE IS ANTICIPATED TO BE A CUT SITE AND WILL REQUIRE APPROXIMATELY 60,000 CY OF EXPORTED MATERIAL. NOTE THAT THIS VALUE IS BASED ON PRELIMINARY DESIGN OF THE PROJECT AND WILL CHANGE AS DESIGN DEVELOPMENT PROGRESSES. AN EXCAVATION PLAN SHALL BE REQUIRED FOR SUBMITTAL TO OBTAIN A GRADING PERMIT FROM THE CITY OF LOS ANGELES.

**BOUNDARY RECORD DATA NOTE**  
BOUNDARY SHOWN HEREON IS BASED ON ALTA SURVEY COMPLETED ON APRIL 23, 2019 BY JRM CIVIL ENGINEERS.

**PROPOSED LOTS**  
3 PROPOSED LOT SUBDIVISION.

LOT NUMBER	PROPOSED LOT AREA	
	SQUARE FEET	ACRES
1	39,827	0.91
2	174,759	4.01
3	169,101	3.88

**OWNER/SUBDIVIDER**  
KAPLAN WOODLAND HILLS PROPERTY COMPANY, LLC  
7150 E. CAMELBACK RD., SUITE 444  
SCOTTSDALE, AZ 85251  
CONTACT: JERRY DAVIS  
PHONE: 480-477-8119

**CIVIL ENGINEER**  
FUSCOE ENGINEERING, INC.  
600 WILSHIRE BLVD., SUITE 1470  
LOS ANGELES, CA 90017  
TEL: (213) 988-8802  
FAX: (213) 988-8803  
CONTACT: SAMSON KAWANREK, PE #C83863

**PROJECT ADDRESS**  
6100 CANOGA AVENUE  
WOODLAND HILLS, CA 91367

**PROJECT AREA**  
GROSS AREA 384,449 SF 8.83 AC  
NET AREA (AFTER PROPOSED DEDICATIONS) 383,486 SF 8.80 AC

**BUILDING HEIGHTS**  
HOTEL - 12 STORY (139')  
BUILDING 1 - 8 STORY (138')  
BUILDING 2 - 8 STORY (147'-0")

NO.	REVISIONS	APP'D.	DATE

**PROJECT INFORMATION**  
NEW CONSTRUCTION (MIXED-USE); 8.80 ACRE SITE (POST DEDICATION):  
BUILDING 1: 438 DWELLING UNITS  
BUILDING 2: 442 DWELLING UNITS, 2,000 SF RETAIL SPACE  
HOTEL: 204 KEYS

**PARKING**  
VEHICLE PARKING:  
VEHICULAR PARKING WILL BE PROVIDED IN COMPLIANCE WITH THE WARNER CENTER SPECIFIC PLAN AND LAMC AS APPLICABLE.  
BICYCLE PARKING:  
BICYCLE PARKING WILL BE PROVIDED IN COMPLIANCE WITH LAMC SECTION 12.21A.16.

**EXISTING EASEMENTS STATEMENT**  
COVENANT AND AGREEMENT REGARDING DRAINAGE EASEMENT  
RECORDING NO: BOOK 790, PAGES 98 THROUGH 100 OF MAPS  
PURPOSE: STORM DRAIN  
AFFECTS: EASTERLY 15' OF SAID PARCEL

**PROPOSED EASEMENTS**

- AN IRREVOCABLE OFFER TO DEDICATE A NON-EXCLUSIVE PRIVATE RECIPROCAL EASEMENT FOR COMMON ACCESS AND UTILITIES.
- PROPOSED 4' PUBLIC SIDEWALK EASEMENT.

**FUSCOE ENGINEERING**  
600 Wilshire, Suite 1470, Los Angeles, California 90017  
tel: 213-988-8802 • fax: 213-988-8803 • www.fuscoe.com

REGISTERED PROFESSIONAL ENGINEER  
No. C83863  
CIVIL  
STATE OF CALIFORNIA

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**PARCEL MAP  
NO. 083089**

**TITLE SHEET**

DRAWN: AN  
DESIGN: AN  
CHECKED: SK  
SCALE: AS SHOWN  
JOB NO.: 1863-001  
DATE: 07/22/2020

**SHEET C-1**

# ALTA/NSPS LAND TITLE SURVEY

6100 CANOGA AVENUE  
WOODLAND HILLS, CALIFORNIA



### LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 9 OF TRACT NO. 30615, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 790 PAGES 98, 99 AND 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 2149-005-012

PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
STANDARD	571
HANDICAP	13
TOTAL	584

### BASIS OF BEARINGS:

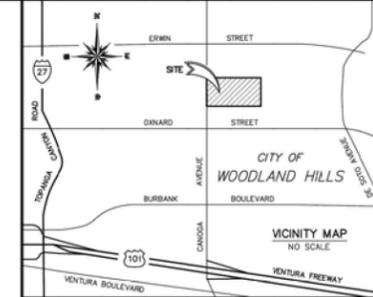
THE BEARING OF N 00°03'01" E ALONG THE CENTERLINE OF CANOGA AVENUE PER TRACT NO. 30615, BOOK 790, PAGES 98, 99 AND 100 OF MAPS IN THE CITY OF WOODLAND HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

### LAND AREA:

384,448 SQUARE FEET  
8.83 ACRES

### LEGEND:

- A.C. ASPHALTIC PAVEMENT
- B.F.D. BACKFLOW DEVICE
- C.L. CENTER LINE
- D. DRAIN INLET
- E. EAST
- EP. ELECTRIC PULLBOX
- FD. FOUND
- FH. FIRE HYDRANT
- FSC. FIRE SERVICE CONNECTION
- FSV. FIRE SERVICE VALVE
- GM. GAS METER
- GV. GAS VALVE
- GP. GUARD POST
- LP. LAND SURVEYOR
- LS. LIGHT POLE
- N. NORTH
- NE. NORTHEAST
- NW. NORTHWEST
- OH. OVERHANG
- PA. PLANTER AREA
- PG. PAGE
- PL. PROPERTY LINE
- P.M. PARCEL MAP
- P.S. PARKING STALL(S)
- R.C.E. REGISTERED CIVIL ENGINEER
- S. SOUTH
- SE. SOUTHEAST
- SF. SQUARE FEET
- SM. SOUTHWEST
- TD. TRENCH DRAIN
- TE. TRASH ENCLOSURE
- T.R. TITLE REPORT
- (TYP.) TYPICAL
- UC. UTILITY CABINET
- UNK. UNKNOWN
- W. WEST
- WM. WATER METER
- WW. WATER VALVE
- WV. CENTER LINE
- CONCRETE



### ITEMS CORRESPONDING TO SCHEDULE "B":

BY CHICAGO TITLE COMPANY  
725 SOUTH FROBERG STREET, SUITE 208  
LOS ANGELES, CA 90017  
(213) 488-4371

COMMITMENT NO.: 00107511-C21-12-JC  
TITLE OFFICER: JORDAN CUREL  
DATED: APRIL 19, 2019

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS AFFECTING THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

1. A COVENANT AND AGREEMENT RECORDED OCTOBER 28, 1969 AS RECORDING NO. 2728 OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT IS BLANKET IN NATURE AND NOT PLOTTED HEREON.
2. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT", RECORDED MARCH 27, 1970 AS INSTRUMENT NO. 2950 OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
3. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT", RECORDED JULY 27, 1972 AS INSTRUMENT NO. 4303 OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
4. INTENTIONALLY DELETED.
5. INTENTIONALLY DELETED.
6. INTENTIONALLY DELETED.
7. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING" RECORDED MARCH 21, 1991 AS INSTRUMENT NO. 91-403288 OFFICIAL RECORDS. THE EXACT LOCATION OF THIS ITEM CANNOT BE DETERMINED FROM RECORD.
8. INTENTIONALLY DELETED.

ITEMS IF SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

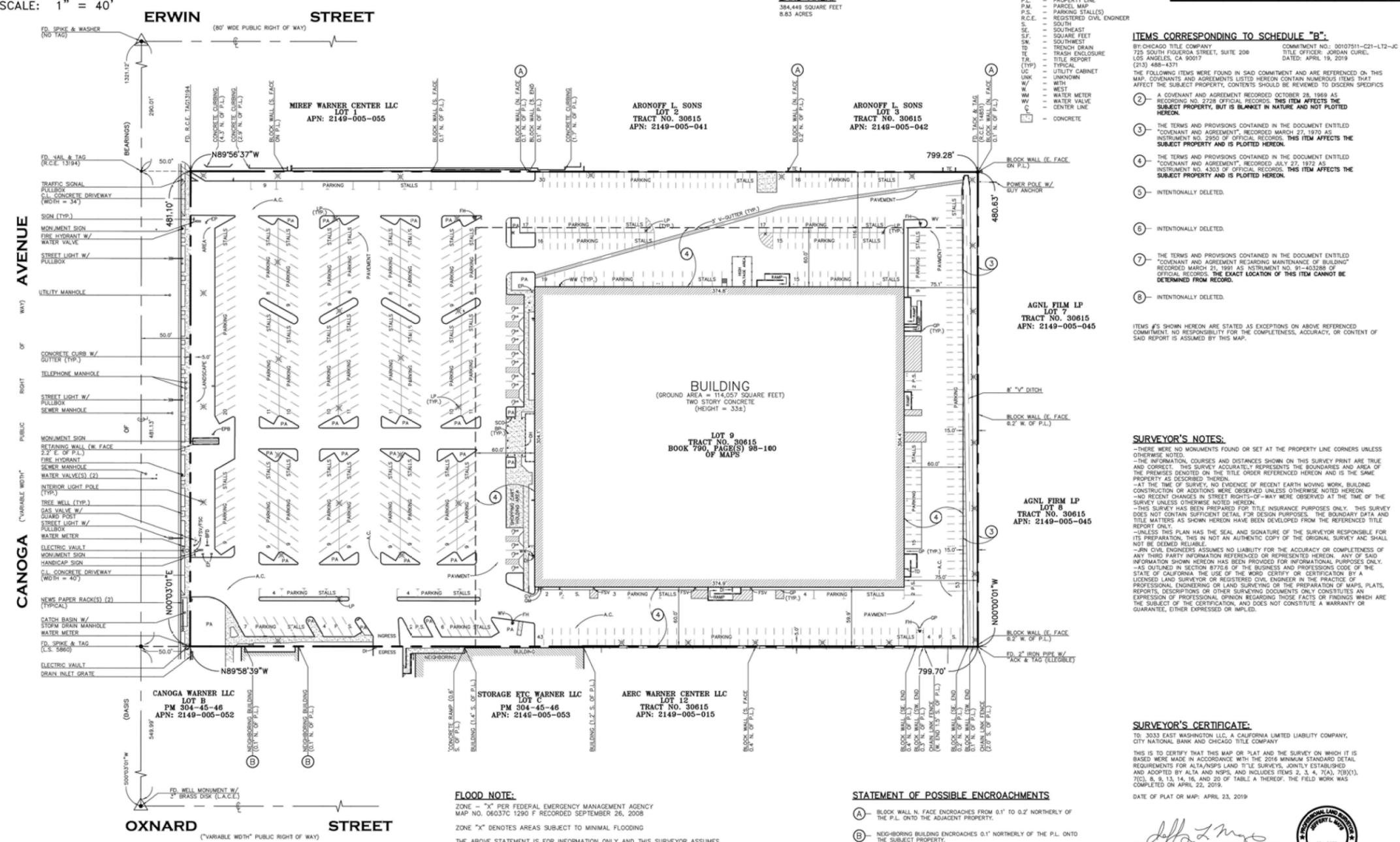
### SURVEYOR'S NOTES:

- THERE WERE NO MONUMENTS FOUND OR SET AT THE PROPERTY LINE CORNERS UNLESS OTHERWISE NOTED.
- THE INFORMATION COURSES AND DISTANCES SHOWN ON THIS SURVEY PRINT ARE TRUE AND CORRECT. THIS SURVEY ACCURATELY REPRESENTS THE BOUNDARIES AND AREA OF THE PREMISES DENOTED ON THE TITLE ORDER REFERENCED HEREON AND IS THE SAME PROPERTY AS DESCRIBED THEREIN.
- AT THE TIME OF SURVEY, NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED UNLESS OTHERWISE NOTED HEREON.
- NO RECENT CHANGES IN STREET RIGHTS-OF-WAY WERE OBSERVED AT THE TIME OF THE SURVEY UNLESS OTHERWISE NOTED HEREON.
- THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES ONLY. THIS SURVEY DOES NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT ONLY.
- IN PREPARING THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION. THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.
- JRN CIVIL ENGINEERS ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF ANY THIRD PARTY INFORMATION REFERENCED OR REPRESENTED HEREON. ANY OF SAID INFORMATION SHOWN HEREON HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
- AS OUTLINED IN SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA, THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER IN THE PRACTICE OF PROFESSIONAL ENGINEERING OR LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

### SURVEYOR'S CERTIFICATE:

TO: 3033 EAST WASHINGTON LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, CITY NATIONAL BANK AND CHICAGO TITLE COMPANY  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(C), 8, 9, 13, 14, 16, AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 22, 2019.  
DATE OF PLAT OR MAP: APRIL 23, 2019

*Jeffrey L. Davis*  
JEFFREY L. DAVIS L.S. NO. 6379  
EXP: 12/31/20



### FLOOD NOTE:

ZONE "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C 1290 F RECORDED SEPTEMBER 26, 2008  
ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING  
THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEY ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

### STATEMENT OF POSSIBLE ENCROACHMENTS

- (A) BLOCK WALL N. FACE ENCROACHES FROM 0.1' TO 0.2' NORTHERLY OF THE P.L. ONTO THE ADJACENT PROPERTY.
- (B) NEIGHBORING BUILDING ENCROACHES 0.1' NORTHERLY OF THE P.L. ONTO THE SUBJECT PROPERTY.

REVISIONS		4/24/19; UPDATED TITLE REPORT. (JRT)	
SHEET 1 OF 1		SCALE: 1" = 40'	
DATE: 04/23/2019		DRAWN BY: NJM	
FILE NO. 18248		CHKD. BY: BK	
JRN CIVIL ENGINEERS		ALTA/NSPS LAND TITLE SURVEY	
232 AVENIDA FABRICANTE, STE. 107 SAN CLEMENTE, CALIFORNIA 92672		6100 CANOGA AVENUE WOODLAND HILLS, CALIFORNIA	
PROJECT COORDINATOR: MATE MOLITZIS (MMOLITZIS@JRN-CIVIL.COM)		CLIENT: JABBERWOCKY LTD	

NO. \_\_\_\_\_ REVISIONS \_\_\_\_\_ APP'D. DATE \_\_\_\_\_

600 Wilshire, Suite 1470, Los Angeles, California 90017  
441.13.788.8802 • fax 213.788.8883 • www.fuscoe.com

PARCEL MAP  
NO. 083089  
ALTA SURVEY

DRAWN: AN  
DESIGN: AN  
CHECKED: SK  
SCALE: AS SHOWN  
JOB NO.: 1863-001  
DATE: 07/22/2020

SHEET C-2



799.28' N89°56'37"W (PRE-DEDICATION)  
797.28' N89°56'37"W (POST-DEDICATION)

**LEGEND AND ABBREVIATIONS**

- CENTERLINE
  - PROPERTY LINE / RIGHT OF WAY
  - EXISTING
  - PROPOSED DEDICATION LINE
  - PROPOSED BUILDING PAD LIMIT
  - PROPOSED CURB
  - PROPOSED CUT
  - PROPOSED RE-PAVEMENT
  - PROPOSED GRIND AND OVERLAY
  - PROPOSED DRIVEWAY AND SIDEWALK
  - PROPOSED RETAINING WALL OR CURB
  - EXISTING ELEVATION
  - (XXX.XX)
- AC ASPHALT CONCRETE
  - BLDG BUILDING
  - SW SWALK OF WALK
  - CLR CLEARANCE
  - CY CUBIC YARDS
  - E EAST
  - EG EXISTING GRADE
  - EX EXISTING
  - FF FINISHED FLOOR
  - FG FINISHED GRADE
  - FS FINISHED SURFACE
  - FT FINISHED TOP
  - H HEIGHT
  - HP HIGH POINT
  - INVERT INVERT
  - N NORTH
  - NTS NOT TO SCALE
  - P/L PROPERTY LINE
  - RADIUS RADIUS
  - R/W RIGHT OF WAY
  - S SOUTH
  - TC TOP OF CURB
  - TS TOP OF GRADE
  - TW TOP OF WALL
  - W WEST

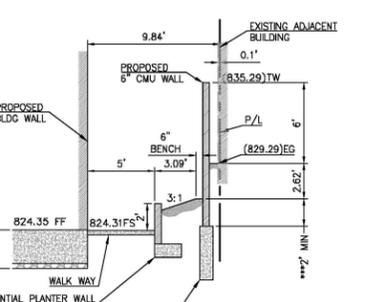
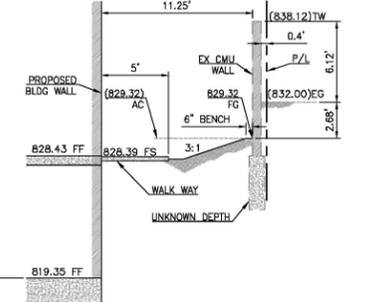
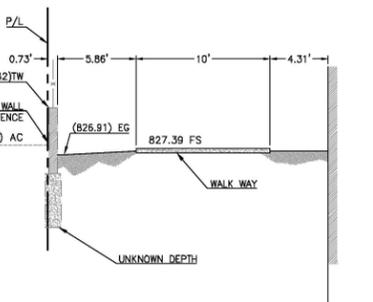
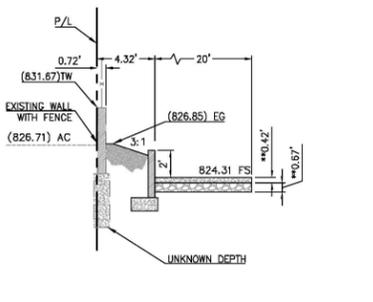
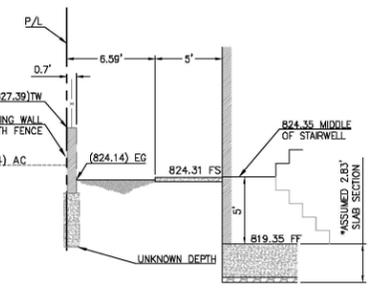
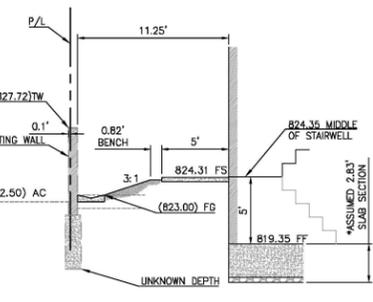
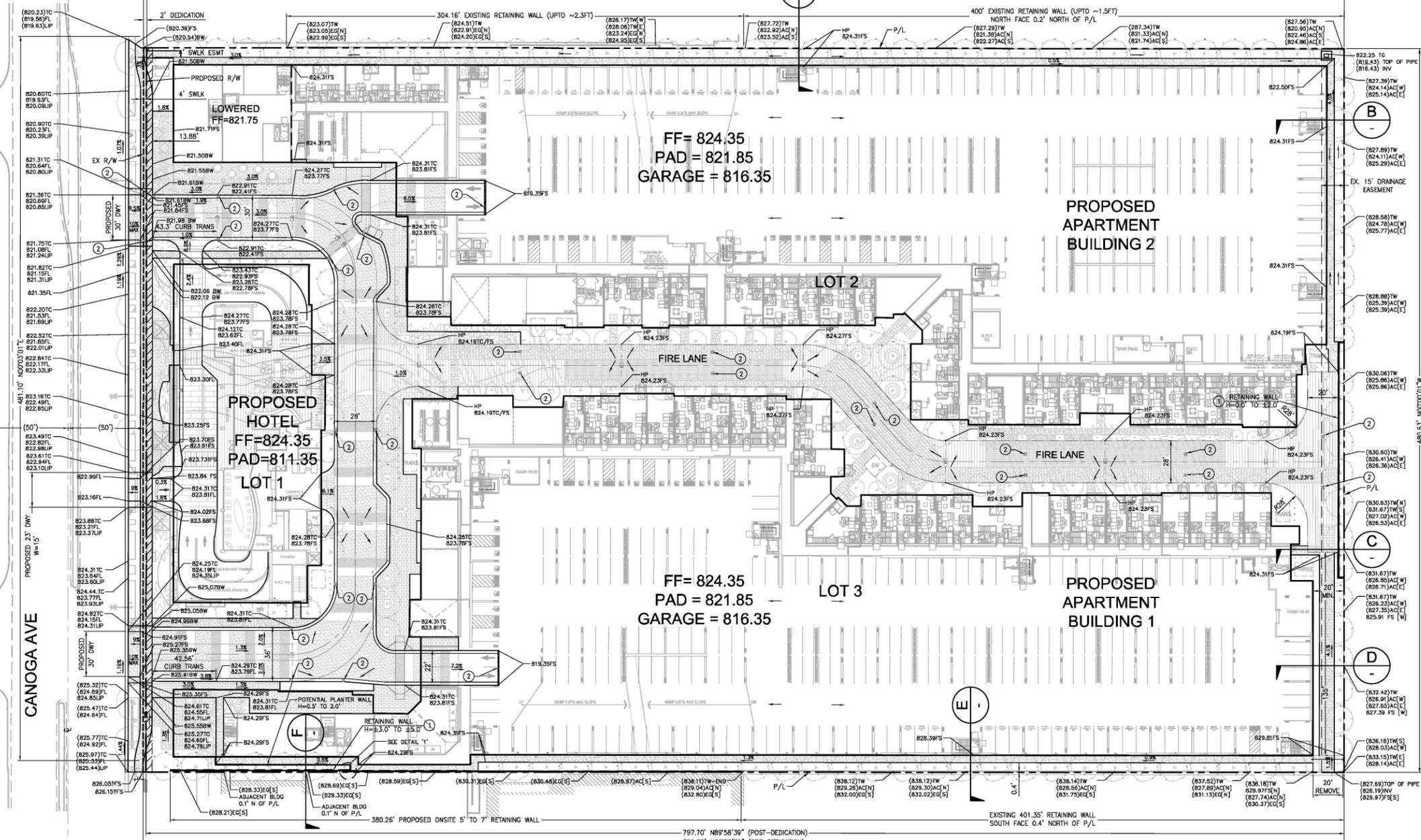
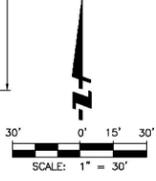
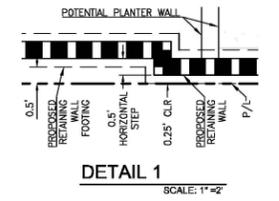
**EARTHWORKS**

QUANTITY SUMMARY			
RAW CUT (CY)	66,500	RAW FILL (CY)	7,500
OVER EX CUT (CY)	13,500	SHRINKAGE (10%)	750
TOTAL (CY)	80,000	SHRINKAGE (10%)	1,350
NET EXPORT	57,000	TOTAL (CY)	23,000

- EARTHWORK QUANTITIES SHOWN ABOVE ARE ONLY INTENDED TO DEPICT THE MASS PAD EXCAVATION AND DO NOT INDICATE ANY OTHER EXCAVATIONS REQUIRED FOR CONSTRUCTION OF PROJECT, SUCH AS UTILITY CUTS, FOUNDATION CUTS, INFILTRATION FACILITY CUTS, GEO SUBGRADE PREPARATION, ETC.
- EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PERMIT ESTIMATE PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL NEEDED QUANTITIES PRIOR TO BIDDING AND CONSTRUCTION.
- SHRINKAGE VALUE PER PAGE 22 OF GEOTECHNICAL REPORT BY GEOTECHNOLOGIES, INC., DATED JUNE 5, 2020, ESTIMATING SHRINKAGE BETWEEN 5% AND 15%.

**CONSTRUCTION NOTES**

- CONSTRUCT RETAINING WALL HEIGHTS TO BE FURTHER DETERMINED IN THE LATER DESIGN PHASES.
- INSTALL DRAINS AT LOW POINTS, SIZE, QUANTITY, AND LOCATIONS TO BE FURTHER DETERMINED IN THE LATER DESIGN PHASES.



**NOTE:**  
 \*\* MAT SLAB SECTION PER PAGE 24 OF GEOTECHNICAL REPORT BY GEOTECHNOLOGIES, INC., DATED JUNE 5, 2020, REQUIRING A MINIMUM MAT SLAB FOUNDATION OF 2.5 FEET. AN ADDITIONAL 4" OF GRAVEL WAS ADDED FOR WATER PROOFING MEASURES.  
 \*\*\* PAVEMENT SECTION PER PAGE 45 OF GEOTECHNICAL REPORT BY GEOTECHNOLOGIES, INC., DATED JUNE 5, 2020, REQUIRING A MINIMUM ASPHALT CONCRETE SECTION OF 5 INCHES AND A MINIMUM 8 INCH AGGREGATE BASE SECTION OF 8 INCHES.  
 \*\*\*\* MINIMUM WALL FOOTING COVER PER PAGE 25 OF GEOTECHNICAL REPORT BY GEOTECHNOLOGIES, INC., DATED JUNE 5, 2020, REQUIRING A MINIMUM COVERAGE OF 2 FEET.

**DISTRICT AT WARNER CENTER**  
6100 CANOGA AVENUE  
CONCEPTUAL GRADING  
2020.08.07

**KAPLAN COMPANIES**  
777 POST OAK BOULEVARD, SUITE 850  
HOUSTON, TEXAS 77056

**FUSCOE**  
ENGINEERING  
full circle thinking  
600 WILSHIRE BLVD., STE. 1470, LOS ANGELES, CA 90017  
PHONE: 213.988.8802 FAX: 213.988.8803



**CITY OF LOS ANGELES**  
CALIFORNIA



ERIC GARCETTI  
MAYOR

**EXECUTIVE OFFICES**  
200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

KEVIN J. KELLER, AICP  
EXECUTIVE OFFICER

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

VACANT  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

INFORMATION  
<http://plannig.lacity.org>

DEPARTMENT OF  
**CITY PLANNING**  
200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
**AND**  
6262 VAN NUYS BLVD., SUITE 430  
VAN NUYS, CA 91401

COMMISSION OFFICE  
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN  
PRESIDENT

VAHID KHORSAND  
VICE-PRESIDENT

DAVID H. J. AMBROZ  
CAROLINE CHOE  
HELEN LEUNG  
KAREN MACK  
MARC MITCHELL  
VERONICA PADILLA-CAMPOS  
DANA M. PERLMAN

**Filing Notification and Distribution Form**

**Tentative Tract Map No.** AA-2020-5375-PMLA  
**Property Address:** 6100 N. Canoga Ave.  
**Community Plan:** Canoga Park – Winnetka  
Woodland Hills – West Hills

**Filing Date:** 09/14/2020  
**Deemed Complete Date:**  
**Distribution Date:** 10/22/2020

- COUNCIL DISTRICT NO. 3
- Bureau of Engineering
- Dept. of Building and Safety – Grading
- Dept. of Building and Safety – Zoning
- Dept. of Transportation, CWPC Section
- DWP Real Estate
- DWP Water Engineering & Distribution
- Dept. of Fire, Engineering and Hydrant Unit
- Bureau of Street Lighting
- Animal Regulation (hillside or grading)

Hillside  Yes  No

MODIFICATION/REVISION REQUEST

**Thomas Guide:** 530 - GRID B7 / 560 – GRID B1  
**D.M.:** 177-B-105

- Housing Department (no P.S.)
- Community Plan Revision Division
- Department of Recreation and Parks
- Bureau of Sanitation
- Urban Forestry Division
- GIS
- Board Of Education (no P.S.)
- County Health Department (no P.S.)

**DATE DUE: UPON RECEIPT**

Please send your reports to the following **NEW** e-mail address: [planning.valleysubdivisions@lacity.org](mailto:planning.valleysubdivisions@lacity.org).  
Thank you.

Pursuant to the Los Angeles Municipal Code, the attached tentative tract map is submitted for your consideration. The Advisory Agency will await your report and recommendation regarding the above matter for 39 days. If we have not received a written report from you after 40 days from the date of filing, we will assume that you have no report to make.

  
Miguel Hernandez  
Senior Administrative Clerk





APPLICATIONS

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number AA-2020-5375-PMLA

Env. Case Number ENV-2008-3471-EIR-ADD7

Application Type Preliminary Parcel Map

Case Filed With (Print Name) Kenton Trinh Date Filed 9/23/20

Application includes letter requesting:

- Waived hearing       Concurrent hearing       Hearing not be scheduled on a specific date (e.g. vacation hold)
- Related Case Number \_\_\_\_\_

**Provide all information requested. Missing, incomplete or inconsistent information will cause delays.**  
*All terms in this document are applicable to the singular as well as the plural forms of such terms.  
 Detailed filing instructions are found on form CP-7810*

1. PROJECT LOCATION

Street Address<sup>1</sup> 6100 North Canoga Avenue Unit/Space Number \_\_\_\_\_

Legal Description<sup>2</sup> (Lot, Block, Tract) Lot 9 of Tract TR 30615

Assessor Parcel Number 2149-005-012 Total Lot Area 384,449

2. PROJECT DESCRIPTION

Present Use Commercial retail

Proposed Use Apartments, work-live, retail, hotel

Project Name (if applicable) District at Warner Center

Describe in detail the characteristics, scope and/or operation of the proposed project Construction of a phased mixed-use development comprised of two mixed-use buildings with 880 dwelling units and a commercial building building with a hotel. Project proposes 1,157,396 square feet of floor area for a 3.02 floor area ratio.

Additional information attached  YES       NO

Complete and check all that apply:

**Existing Site Conditions**

- |   |  |
|---|--|
| <input type="checkbox"/> Site is undeveloped or unimproved (i.e. vacant)  | <input type="checkbox"/> Site is located within 500 feet of a freeway or railroad                  |
| <input checked="" type="checkbox"/> Site has existing buildings (provide copies of building permits)  | <input type="checkbox"/> Site is located within 500 feet of a sensitive use (e.g. school, park)    |
| <input type="checkbox"/> Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial) | <input type="checkbox"/> Site has special designation (e.g. National Historic Register, Survey LA) |

<sup>1</sup> Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

<sup>2</sup> Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

**Proposed Project Information**

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: 1,157,396 square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

**Housing Component Information**

Number of Residential Units: Existing 0 - Demolish(ed)<sup>3</sup> 0 + Adding 880 = Total 880  
 Number of Affordable Units<sup>4</sup> Existing 0 - Demolish(ed) 0 + Adding 0 = Total 0  
 Number of Market Rate Units Existing 0 - Demolish(ed) 0 + Adding 880 = Total 880  
 Mixed Use Projects, Amount of Non-Residential Floor Area: 307,116 square feet

**Public Right-of-Way Information**

Have you submitted the Planning Case Referral Form to BOE? (required)  YES  NO  
 Is your project required to dedicate land to the public right-of-way?  YES  NO  
 If so, what is/are your dedication requirement(s)? 2 ft.  
 If you have dedication requirements on multiple streets, please indicate: \_\_\_\_\_

**3. ACTION(S) REQUESTED**

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36?  YES  NO

Authorizing Code Section 17.50

Code Section from which relief is requested (if any): \_\_\_\_\_

Action Requested, Narrative: Parcel Map to subdivide to site into three ground lots.

Authorizing Code Section \_\_\_\_\_

Code Section from which relief is requested (if any): \_\_\_\_\_

Action Requested, Narrative: \_\_\_\_\_

Additional Requests Attached  YES  NO

<sup>3</sup> Number of units to be demolished and/or which have been demolished within the last five (5) years.

<sup>4</sup> As determined by the Housing and Community Investment Department

**4. RELATED DEPARTMENT OF CITY PLANNING CASES**

Are there previous or pending cases/decisions/environmental clearances on the project site?  YES  NO  
If YES, list all case number(s) CPC-2008-3470-SP-GPA-ZC-SUD-BL-M1; ENV-2008-3471-EIR

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. \_\_\_\_\_

Ordinance No.: \_\_\_\_\_

Condition compliance review

Clarification of Q (Qualified) classification

Modification of conditions

Clarification of D (Development Limitations) classification

Revision of approved plans

Amendment to T (Tentative) classification

Renewal of entitlement

Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project?  YES  NO

Have you filed, or is there intent to file, a Subdivision with this project?  YES  NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

Project includes a Parcel Map to subdivide the site into three lots.

**5. RELATED DOCUMENTS / REFERRALS**

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

- a. Specialized Requirement Form Attached
- b. Geographic Project Planning Referral Attached
- c. Citywide Design Guidelines Compliance Review Form Attached
- d. Affordable Housing Referral Form Not applicable
- e. Mello Form Not applicable
- f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form \_\_\_\_\_
- g. HPOZ Authorization Form Not applicable
- h. Management Team Authorization Not applicable
- i. Expedite Fee Agreement Not applicable
- j. Department of Transportation (DOT) Referral Form Attached
- k. Preliminary Zoning Assessment Referral Form Attached
- l. SB330 Preliminary Application Attached
- m. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) Attached
- n. Order to Comply Not applicable
- o. Building Permits and Certificates of Occupancy Attached
- p. Hillside Referral Form (BOE) Not applicable
- q. Low Impact Development (LID) Referral Form (Storm water Mitigation) Attached
- r. SB330 Determination Letter from Housing and Community Investment Department Attached
- s. Are there any recorded Covenants, affidavits or easements on this property?  YES (provide copy)  NO

**PROJECT TEAM INFORMATION** (Complete all applicable fields)

**Applicant<sup>5</sup> name** Geoffrey Simpson

Company/Firm Kaplan Woodland Hills Property Company, LLC

Address: 777 Post Oak Boulevard Unit/Space Number 850

City Houston State TX Zip Code: 77056

Telephone (713) 977-5699 E-mail: gsimpson@kapcorp.com

Are you in escrow to purchase the subject property?  YES  NO

**Property Owner of Record**  Same as applicant  Different from applicant

Name (if different from applicant) \_\_\_\_\_

Address \_\_\_\_\_ Unit/Space Number \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_

**Agent/Representative name** Matt Dzurec

Company/Firm Armbruster Goldsmith & Delvac LLP

Address: 12100 Wilshire Boulevard Unit/Space Number 1600

City Los Angeles State CA Zip: 90025

Telephone (310) 254-9052 E-mail: matt@agd-landuse.com

**Other** (Specify Architect, Engineer, CEQA Consultant etc.) CEQA Consultant

Name Stephanie Eyestone-Jones

Company/Firm Eyestone Environmental

Address: 2121 Rosecrans Avenue Unit/Space Number 3355

City El Segundo State CA Zip Code: 90245

Telephone (424) 207-5333 E-mail: s.eyestone@eyestoneeir.com

**Primary Contact for Project Information**  Owner  Applicant  
(select only one)  Agent/Representative  Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

<sup>5</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

**PROPERTY OWNER**

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.  
The City requires an original signature from the property owner with the "wet" notary stamp.  
A Notary Acknowledgement is available for your convenience on following page.*

Signature \_\_\_\_\_

Date 4/17/2020

Print Name Anthony Simpson

Signature \_\_\_\_\_

Date \_\_\_\_\_

Print Name \_\_\_\_\_

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of Texas  
~~California~~

County of Harris

On April 17, 2020 before me, Angela Drabek  
(Insert Name of Notary Public and Title)

personally appeared Geoffrey Simpson, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Angela Drabek  
Signature

(Seal)



**APPLICANT**

- 8. APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
  - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
  - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
  - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
  - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
  - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
  - g. I understand that if this application is denied, there is no refund of fees paid.
  - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
  - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

*The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.*

Signature: \_\_\_\_\_

Date: 4/17/2020

Print Name: \_\_\_\_\_

**OPTIONAL**  
**NEIGHBORHOOD CONTACT SHEET**

9. **SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

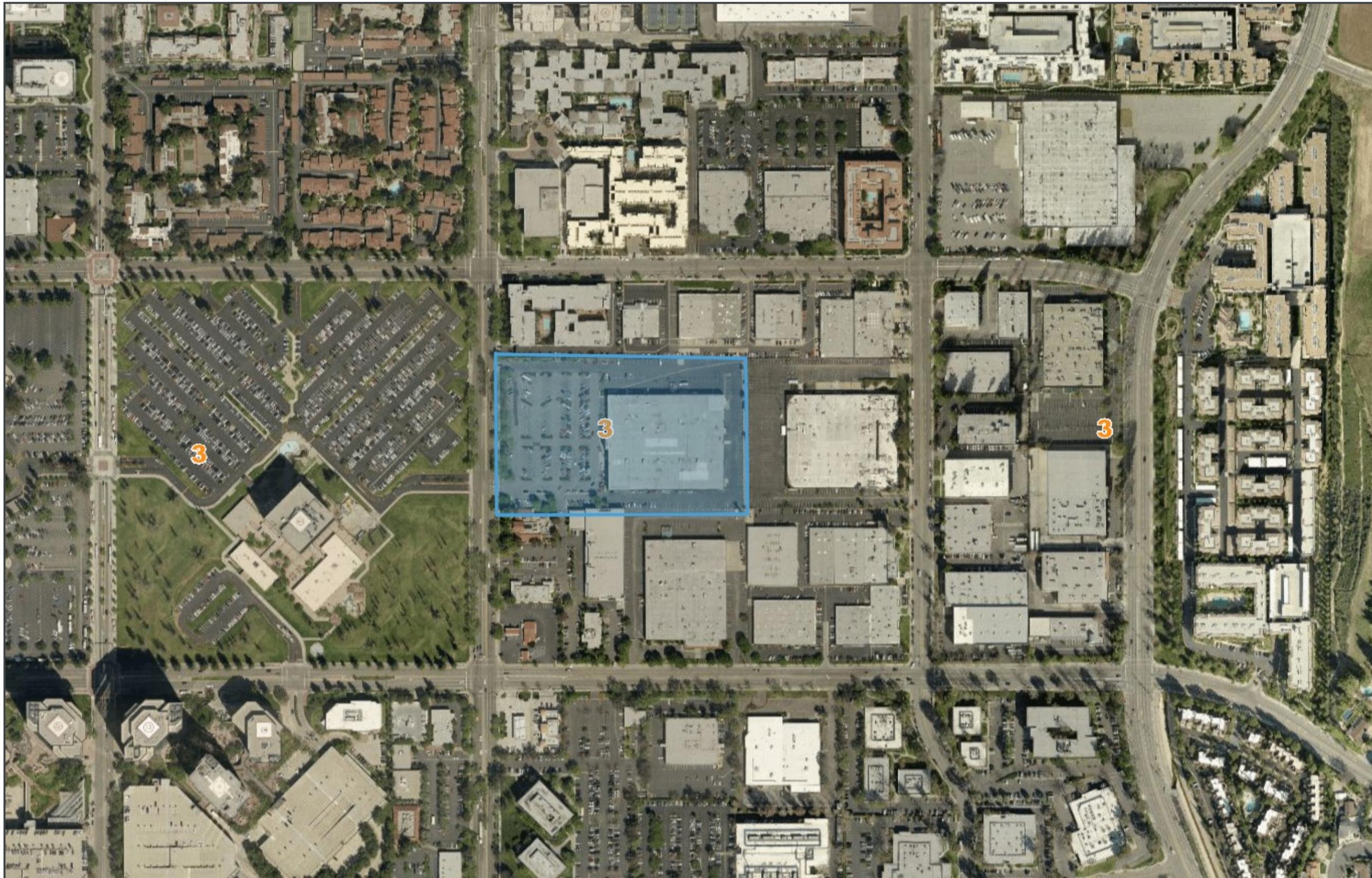
NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

**REVIEW** of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).



EQUITABLE PARKS & AMENITIES  
DECISION SUPPORT SYSTEM

### E-PADSS Map Output



**LEGEND**

- City Council Districts
- Existing Parks
- Non-RAP
- RAP
- Future Parks
- City Limits

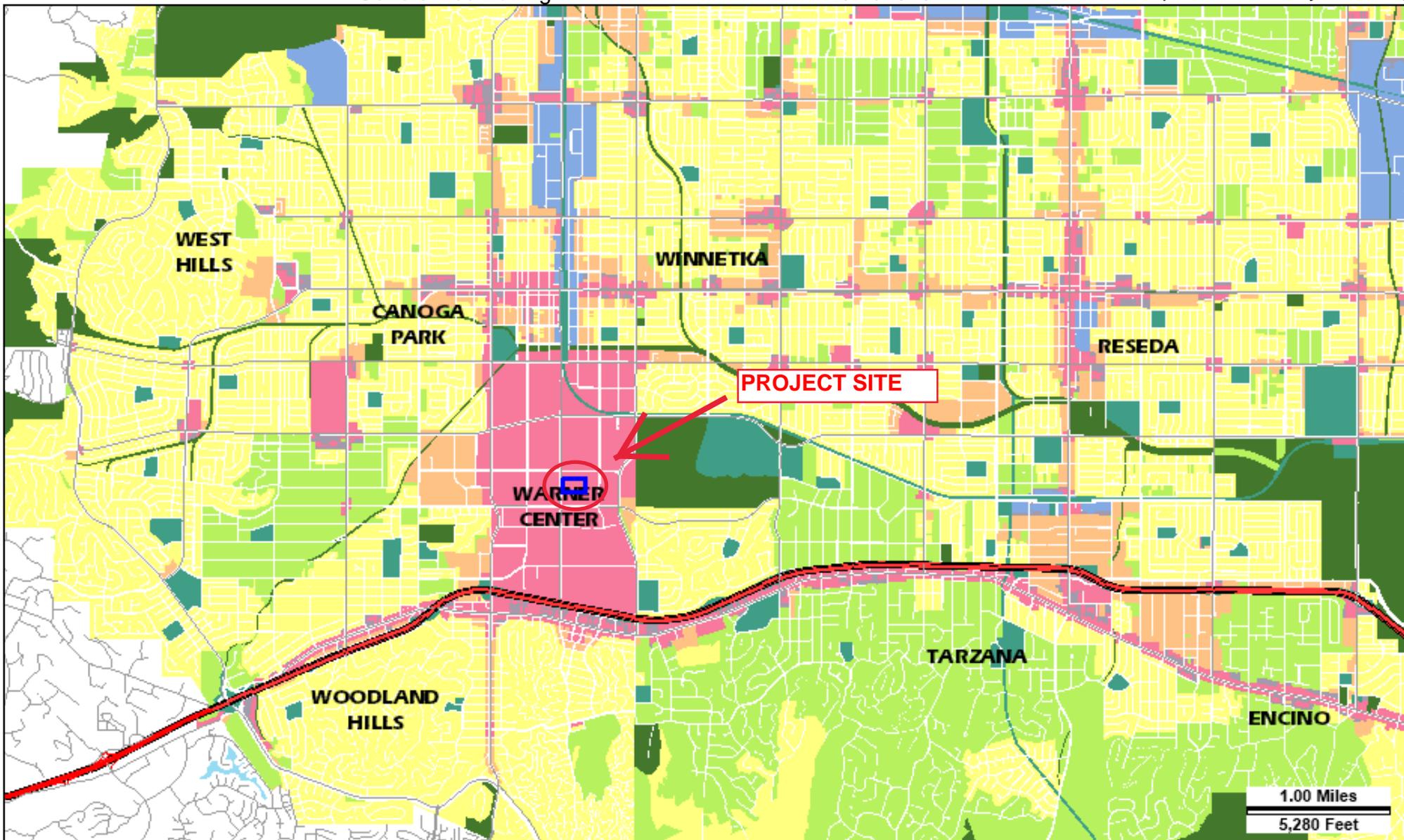
**NOTES**



SCALE 1: 4,514

Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

© City of Los Angeles, Department of Recreation and Parks  
Printed: 11/13/2020

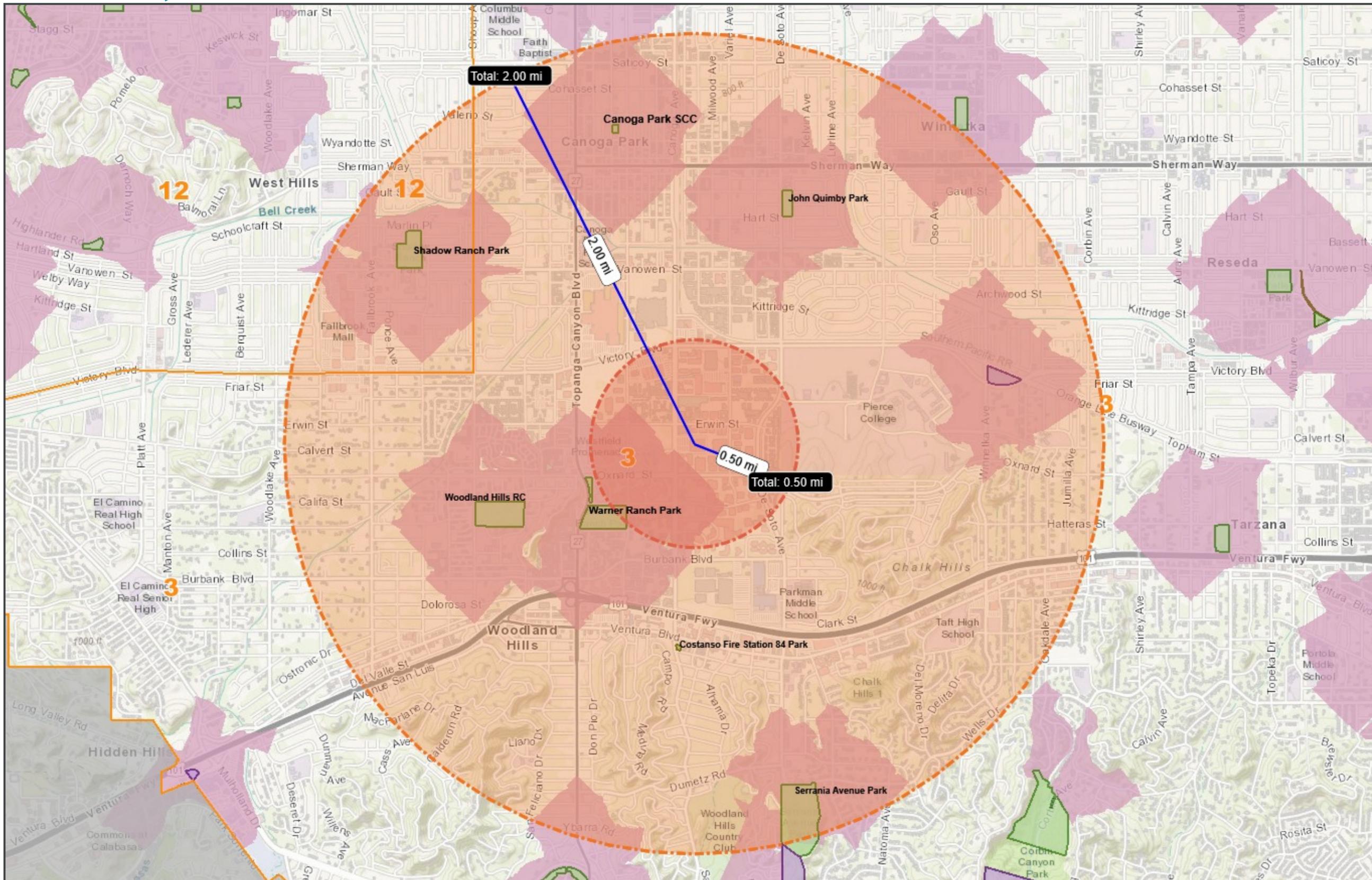


Address: 6100 N CANOGA AVE  
 APN: 2149005012  
 PIN #: 177B105 46

Tract: TR 30615  
 Block: None  
 Lot: 9  
 Arb: None

Zoning: (WC)DOWNTOWN-SN  
 General Plan: Regional Center Commercial





**LEGEND**

- City Council Districts
- Existing Parks
- Non-RAP
- RAP
- Future Parks
- City Limits
- All Improved Service Areas

**NOTES**



SCALE 1: 36,112

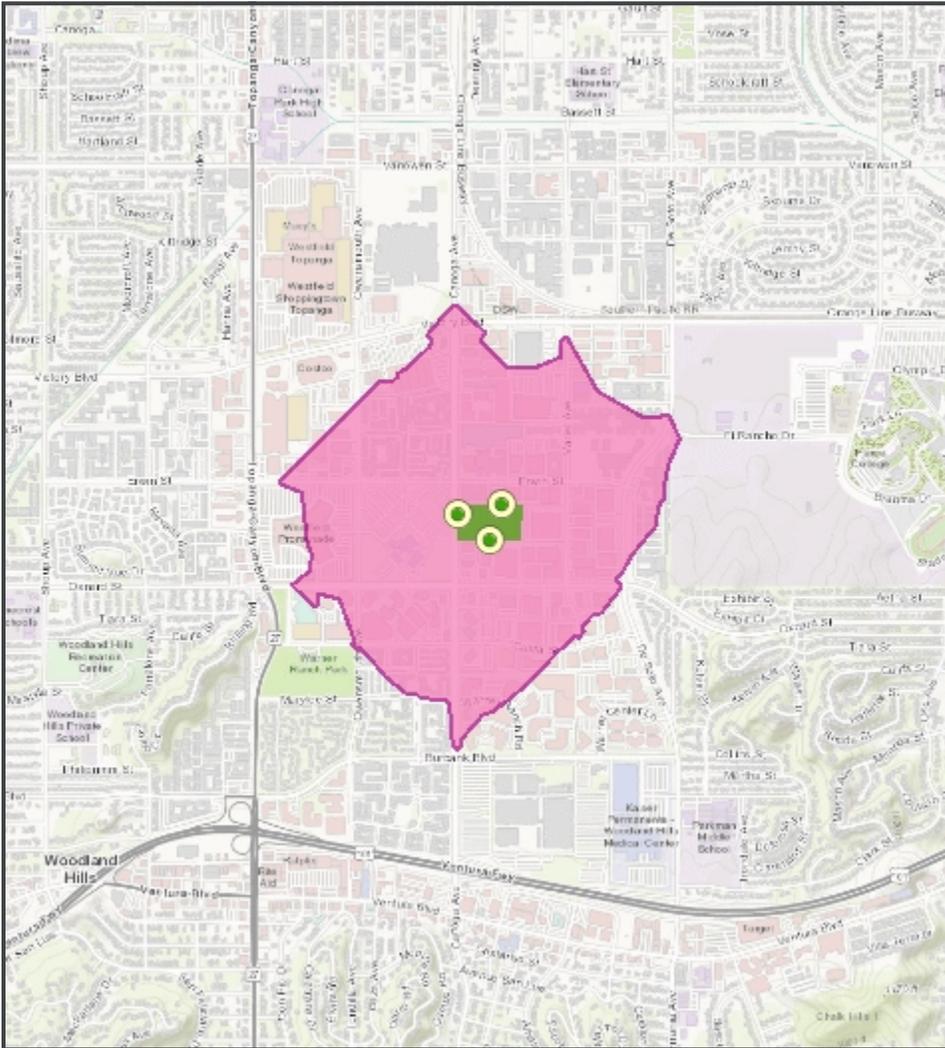
Disclaimer: This map is for informational purposes only and relies on data from a variety of sources, which may or may not be accurate or current. The City of Los Angeles assumes no responsibility arising from the use of this map. The map and associated data are provided "as is" without warranty of any kind.

© City of Los Angeles, Department of Recreation and Parks  
Printed: 11/13/2020



EQUITABLE PARKS & AMENITIES  
DECISION SUPPORT SYSTEM

# Park Analysis Report



## Scenario Information

Scenario Name:

VTT-83089

Description:

Mixed-use development with 880 units, retail and hotel spaces, and approx. 1,500 parking spaces and bicycle parking

Scenario Type:

New Park

Park Class:

Improved

Baseline Dataset\*:

All Parks (RAP and Non-RAP)

\*The baseline dataset is the existing parks dataset whose service areas are used to calculate the currently non-served metrics given below in blue. These residents and households, which would be served by the proposed park, are not currently served by any existing park in the baseline dataset.

## Population and Age Breakdown

## Household and Income Breakdown

	Total Residents Served:	Currently Non-Served Residents Served:
Residents Served:	3,106	2,423

	Total Households Served:	Currently Non-Served Households Served:
Households Served:	1,744	1,415

### Residents Served by Age

Age Group	Total Residents Served	Currently Non-Served Residents Served
Under Age 5:	132	98
Age 5 to 9:	114	77
Age 10 to 14:	89	62
Age 15 to 17:	49	36
Age 18 to 64:	2,260	1,776
Age 65 and Over:	462	374

### Households Served by Annual Income

Income Group	Total Households Served	Currently Non-Served Households Served
Under \$25,000:	513	465
\$25,000 to \$34,999:	81	61
\$35,000 to \$49,999:	233	193
\$50,000 to \$74,999:	342	311
\$75,000 and Over:	575	385

Source: Census/ACS 2010